

Play Milpitas

**CITY OF MILPITAS
PARKS & RECREATION
MASTER PLAN UPDATE**



VOLUME 2 APPENDIX

**ADOPTED ON
DECEMBER 14, 2021**

Prepared for the City of Milpitas
by Gates + Associates with Matrix
Consulting Group

City of Milpitas
455 E. Calaveras Blvd.
ci.milpitas.ca.gov



ACKNOWLEDGMENTS

CITY COUNCIL

Mayor	Rich Tran
Vice-Mayor	Carmen Montano
Council Member	Anthony Phan
Council Member	Karina R. Dominguez
Council Member	Evelyn Chua

MILPITAS PROJECT TEAM

City Manager	Steve McHarris
Assistant City Manager	Ashwini Kantak
Deputy City Manager	Walter C. Rossmann
Recreation and Community Services Director	Renee Lorentzen
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David J. Powers

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APPENDIX

Play Milpitas

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COMMUNITY OUTREACH

The following section contains all the materials used for community outreach, including presentations, boards, marketing collateral, online survey responses, and meeting summaries. This section is organized in chronological order.

APPENDIX: COMMUNITY OUTREACH

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TREE LIGHTING EVENT (DEC. 1, 2019) - FLYER



MILPITAS PARKS + RECREATION MASTER PLAN



What:

Share ideas for future improvements for all Milpitas Parks

Participate online or in person at the Tree Lighting Civic Center

December 1, 6:30 PM

Que:

Comparte ideas para el futuro de los parques de Milpitas

Participa en línea o en persona en el Iluminación del árbol de Navidad Centro Civil

1 de Diciembre, 6:30 PM

内容:

让我们一起畅想米尔皮塔斯公园的未来发展

网络参与
或
市民文化中心现场参与

12月1日, 6:30 PM

Điều Gì:

Chia sẻ ý tưởng để cải thiện tất cả giải trí và công viên Milpitas trong tương lai.

Tham gia trực tuyến hoặc ại cây đèn civic center vào ngày 1 tháng 12, lúc 6:30 PM

The Parks and Recreation Master Plan will study existing parks, facilities and recreation programs. It will also guide the City into the future by providing a long-term vision to meet the parks and recreation needs of the community. Please provide your input and feedback!

Follow along for updates on future input opportunities:

www.milpitasparksrecreationmasterplan.org





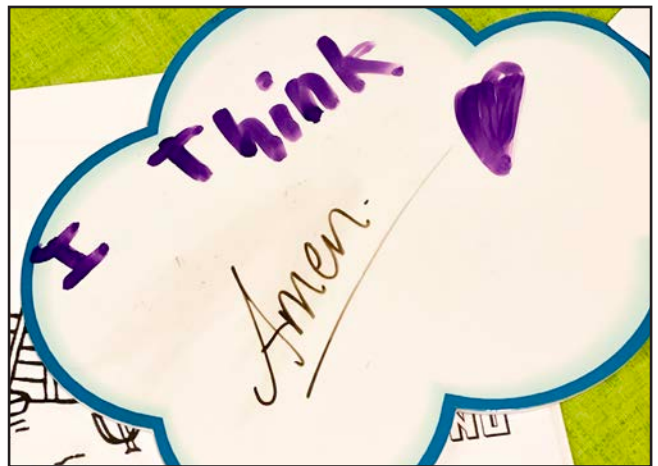
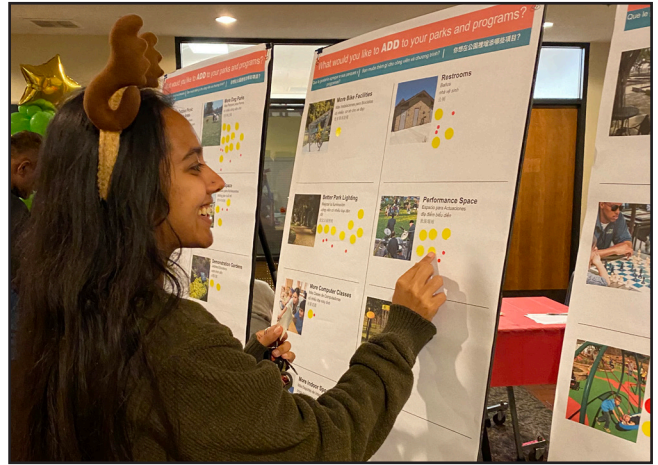


APPENDIX: COMMUNITY OUTREACH

TREE LIGHTING EVENT (DEC. 1, 2019) - PHOTOS




TREE LIGHTING EVENT (DEC. 1, 2019) - PHOTOS




TREE LIGHTING EVENT (DEC. 1, 2019) - BOARDS

What do you **LIKE** about your parks and programs?


Que le gusta acerca de sus parques y programas?
 Bạn thích gì về công viên và chương trình của bạn?
 你喜歡什麼樣的公園和活動？




Playgrounds
 Pátios de Recreo
 sân chơi
 遊樂場




BBQ Areas
 Areas de Barbacoa
 khu vực để nướng
 燒烤爐




Tennis/Pickleball
 Tenis /Pickleball
 quần vợt
 網球/匹克球



Public Art
 Areas de Barbacoa
 nghệ thuật công cộng
 公共藝術

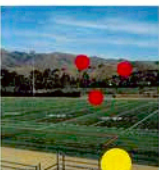


Basketball
 Baloncesto
 bóng rổ
 籃球



Dog Areas
 Areas para Perros
 khu vực cho chó
 狗公園

many soccer fields are in bad shape (full of holes and uneven)



Sports Fields
 Campos de Deportes
 sân thể thao




Trails/Paneways
 Senderos para Caminar
 con đường mòn
 步道/遠徑

Play Milpitas
 MILPITAS PARKS + RECREATION MASTER PLAN


TREE LIGHTING EVENT (DEC. 1, 2019) - BOARDS

What do you **LIKE** about your parks and programs?


Que le gusta acerca de sus parques y programas? | Bạn thích gì về công viên và chương trình của bạn? | 你喜歡什麼樣的公園和活動?



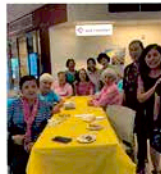
Open Space
Espacio Abierto
không gian mở
開放地




Picnic Areas
Áreas de Picnic
khu dã ngoại
野餐地




Performing Arts
Las Artes Escénicas
biểu diễn nghệ thuật
藝術表演




Senior Activities
Actividades para Mayores
hoạt động cao cấp
老年活動中心



Kids Yoga Camp
Campamento de Yoga
trại yoga trẻ em
兒童瑜伽訓練營




Swim Facility
Instalaciones de Natación
cơ sở bơi
泳設施



Teen Center
Centro de Adolescentes
trung tâm tuổi trẻ
青少年中心

please more promotion

Other?
Otras?
khác?
其他



PLAY MILPITAS
MILPITAS PARKS + RECREATION MASTER PLAN

TREE LIGHTING EVENT (DEC. 1, 2019) - BOARDS

What would you like to **ADD** to your parks and programs?

Que le gustaría agregar a sus parques y programas? | Bạn muốn thêm gì cho công viên và chương trình? | 你想在公園裡增添哪些項目?



Bocce
Petanca
Sân Chơi Bocce
地擲球



Pump Track
Pista de Bicicletas
đường ray bơm
山地自行車賽道



Game Tables
Mesas de Juego
bàn trò chơi
遊戲台



Horseshoes
Lanzamiento de Herraduras
móng ngựa
馬蹄鐵遊戲



More/Updated Playgrounds
Más Actualizar Parques Infantiles
sân chơi cập nhật hơn
更多/更新的遊樂場



More Community Events
Más Eventos Comunitarios
nhiều sự kiện cộng đồng
更多社區活動



Exercise Stations
Estaciones de Ejercicio
trạm tập thể dục
運動站



Adult Space
Más Eventos Comunitarios
không gian người lớn
成人場地



MILPITAS PARKS + RECREATION MASTER PLAN

TREE LIGHTING EVENT (DEC. 1, 2019) - BOARDS

What would you like to **ADD** to your parks and programs?

Que le gustaria agregar a sus parques y programas? | Bạn muốn thêm gì cho công viên và chương trình? | 你想在公園裡增添哪些項目?

 <p>More Outdoor Picnic & Gathering Areas <i>Más Áreas de Picnic y Reuniones</i> <i>thêm khu vực dã ngoại và tụ tập ngoài trời</i> <i>更多野外露營地</i></p>	 <p>More Dog Parks <i>Más Parques para Perros</i> <i>có nhiều công viên chó</i> <i>更多狗公園</i></p>
 <p>Covered Area / Shade <i>Áreas Cubiertas / con Sombra</i> <i>khu vực được che chắn</i> <i>遮陽地/遮蔭地</i></p>	 <p>Teen Space <i>Espacio para Adolescentes</i> <i>không gian tuổi trẻ</i> <i>青少年場地</i></p>
 <p>Community Gardens <i>Jardines Comunitarios</i> <i>khu vườn cộng đồng</i> <i>社區花園</i></p>	 <p>Demonstration Gardens <i>Jardines Educativos</i> <i>vườn trình diễn</i> <i>示範花園</i></p>
 <p>More Amenities <i>(Seating, Drinking Fountains, etc.)</i> <i>Más Comodidades (Lugares para Sentarse, Fuentes Para Beber Agua, etc.)</i> <i>tiện nghi hơn (chỗ ngồi, đài phun nước nóng)</i> <i>更多設施 (座椅, 飲水泉等)</i></p>	 <p>Public Art <i>Arte Público</i> <i>nghệ thuật công cộng</i> <i>公共藝術</i></p>



PLAY MILPITAS
MILPITAS PARKS + RECREATION MASTER PLAN

TREE LIGHTING EVENT (DEC. 1, 2019) - BOARDS

What would you like to **ADD to your parks and programs?**

Que le gustaría agregar a sus parques y programas? | Bạn muốn thêm gì cho công viên và chương trình? | 你想在公園裡增添哪些項目?



More Bike Facilities
Más Instalaciones para Bicicletas
có nhiều cơ sở cho xe đạp
更多單車設備



Restrooms
Baños
nhà vệ sinh
公廁



Better Park Lighting
Mejorar la Iluminación
công viên có nhiều loại đèn tốt
优化公园照明



Performance Space
Espacio para Actuaciones
địa điểm biểu diễn
表演場地



More Computer Classes
Más Clases de Computadoras
có nhiều lớp máy tính
社區花園



Disc Golf
Disco de Golf
đĩa gôn
飛盤高爾夫

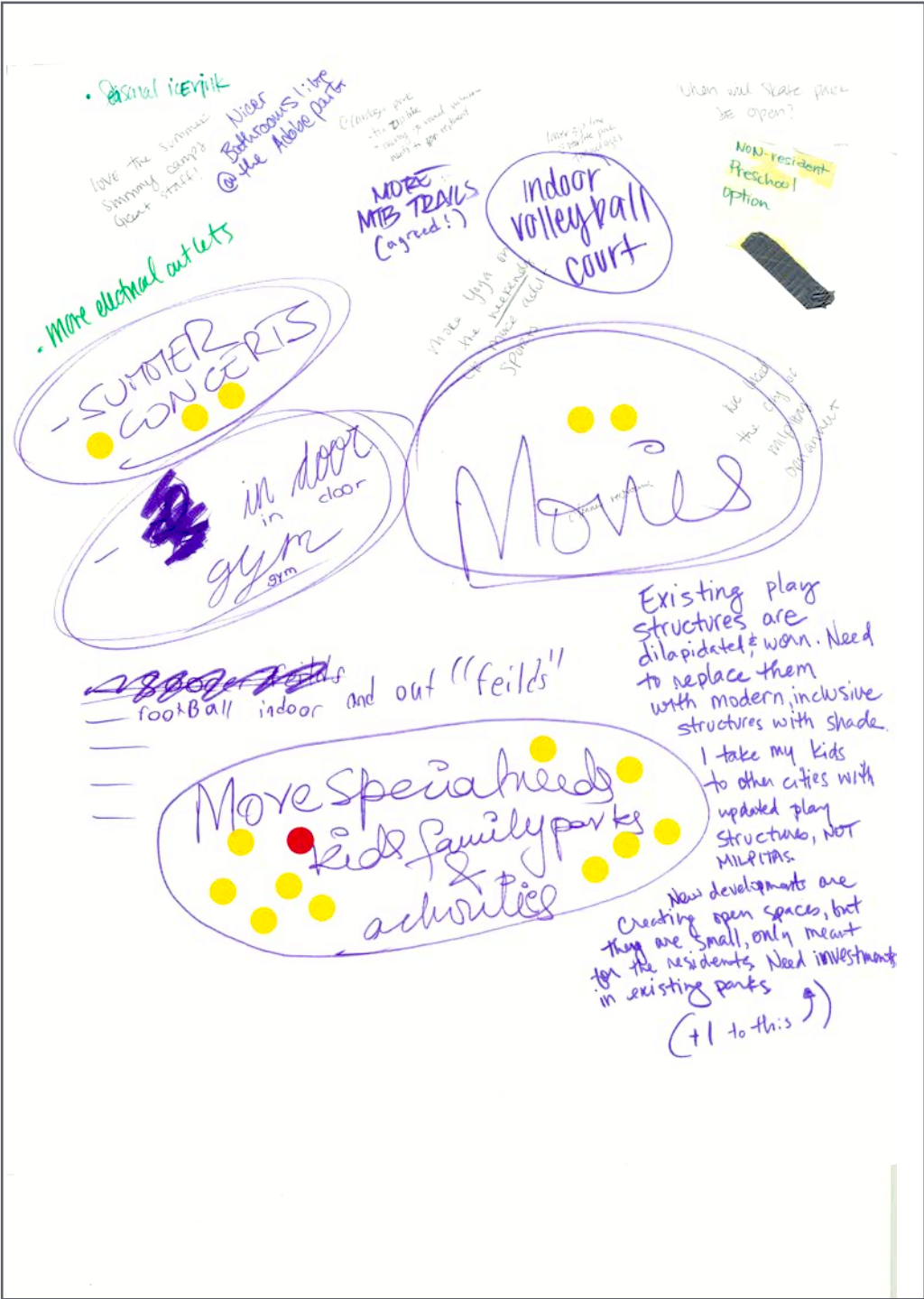


More Indoor Sports
Más Deportes de Interior
trong nhà trường có nhiều môn thể thao
更多室內設施

Other?
Otras?
khác?
其他

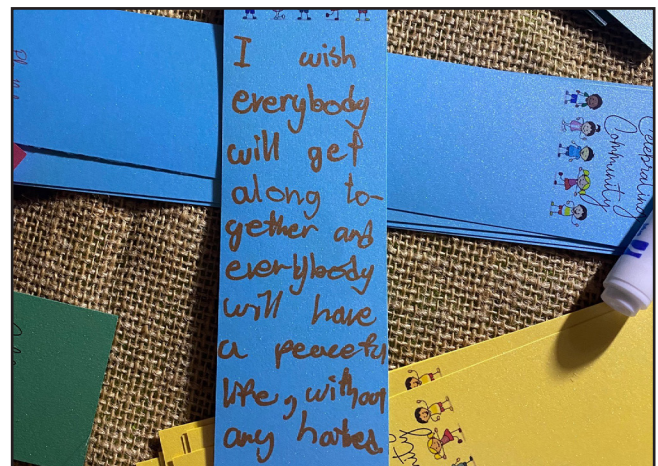


TREE LIGHTING EVENT (DEC. 1, 2019) - WRITE-IN COMMENTS



APPENDIX: COMMUNITY OUTREACH

LUNAR NEW YEAR EVENT (JAN. 8, 2020) - PHOTOS



ROUND 1 ONLINE SURVEY MARKETING COLLATERAL



The Parks and Recreation Master Plan will study existing parks, facilities and recreation programs to provide a long-term vision to meet the needs of the community!

Take the online survey now!

www.milpitasparksrecreationmasterplan.org



MILPITAS RECREATION AND COMMUNITY SERVICES



GATES + ASSOCIATES LANDSCAPE ARCHITECTS



Take our Survey and be entered to win a prize!

You have been selected to provide input on the Milpitas Park & Recreation Master Plan Update. Your input is critical to assist us in identifying community priorities. As a sign of our appreciation for your participation, once you complete the survey you will be entered to win a Milpitas Recreation and Community services basket, containing Milpitas Recreation branded accessories and fun gifts to help you enjoy your Milpitas parks to the fullest!

Survey Link
<https://wikimapping.com/Milpitas-Parks-and-Recreation-Master-Plan-Update.html>

Additional Project Information
www.milpitasparksrecreationmasterplan.org



Tegan McLane | Community Engagement & Inclusion Administrator/ Assistant Director
 Recreation and Community Services
 Email: TmcLane@ci.milpitas.ca.gov

MILPITAS RECREATION AND COMMUNITY SERVICES



GATES + ASSOCIATES LANDSCAPE ARCHITECTS



ONLINE SURVEY

deeper dive into parks, programs and events



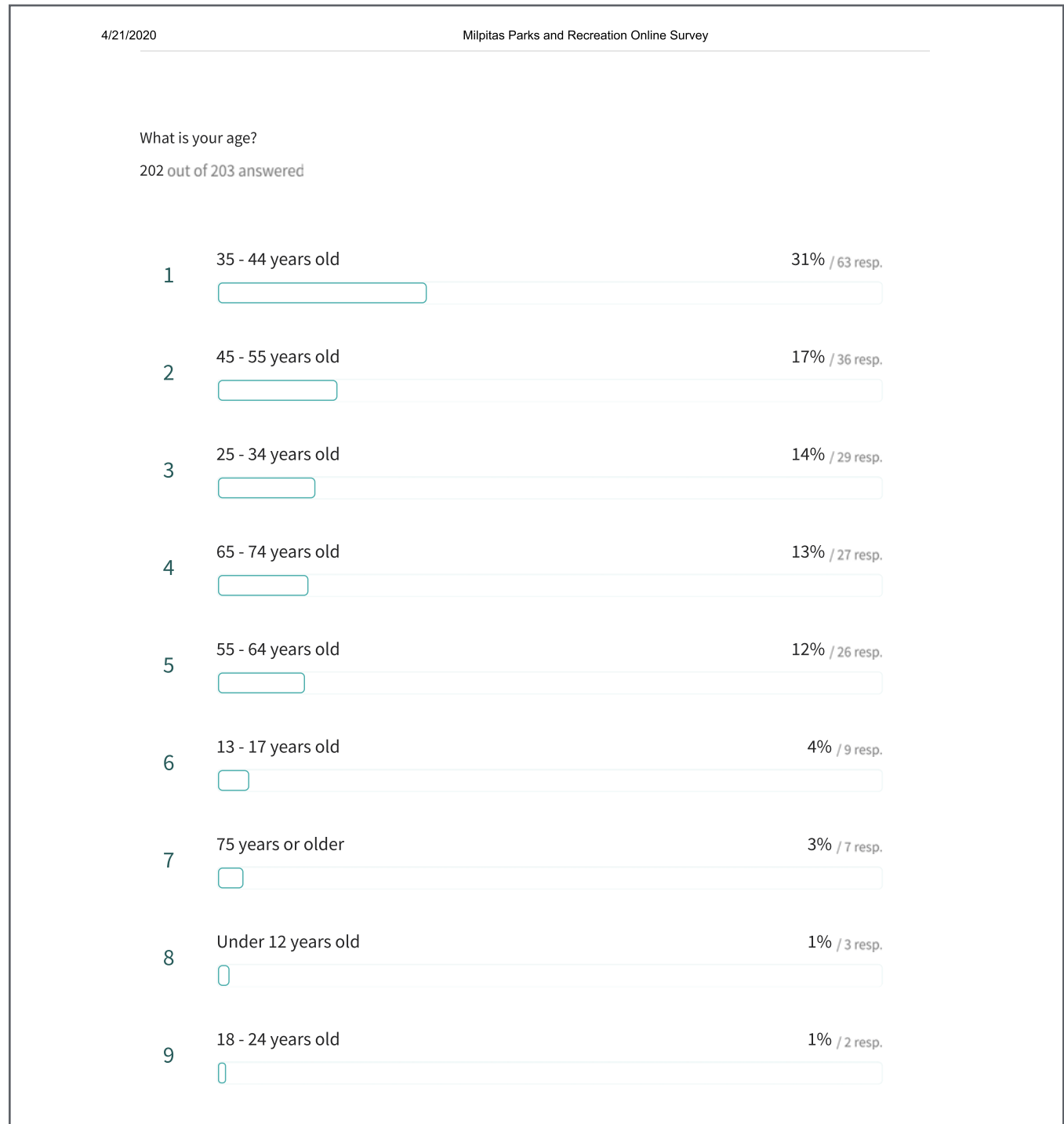
#PlayMilpitas

YOUR PARKS YOUR VOICE

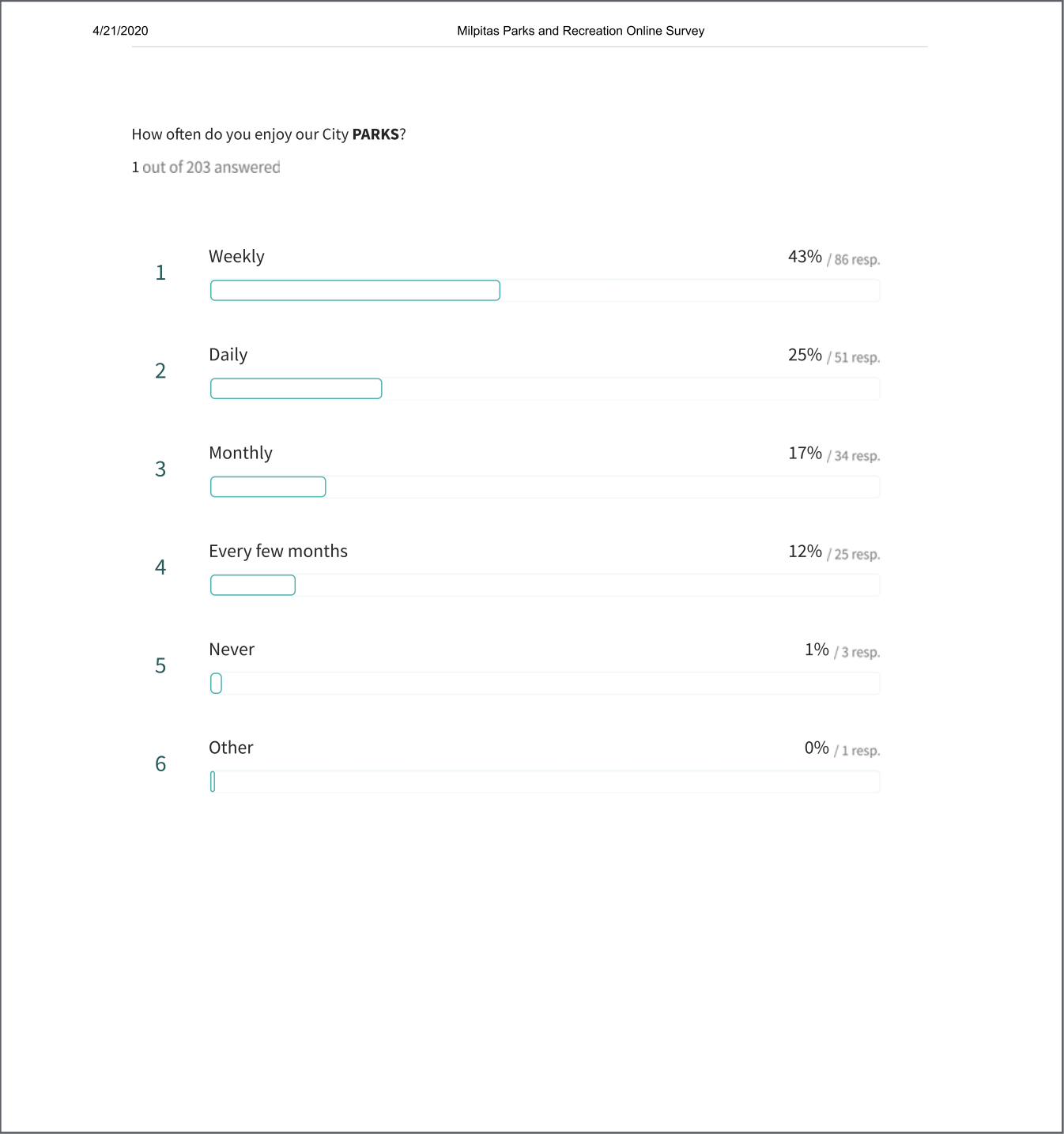
Take the Online Survey Now

APPENDIX: COMMUNITY OUTREACH

ROUND 1 ONLINE SURVEY QUESTIONS & RESPONSES (AS OF 4/21/2020)

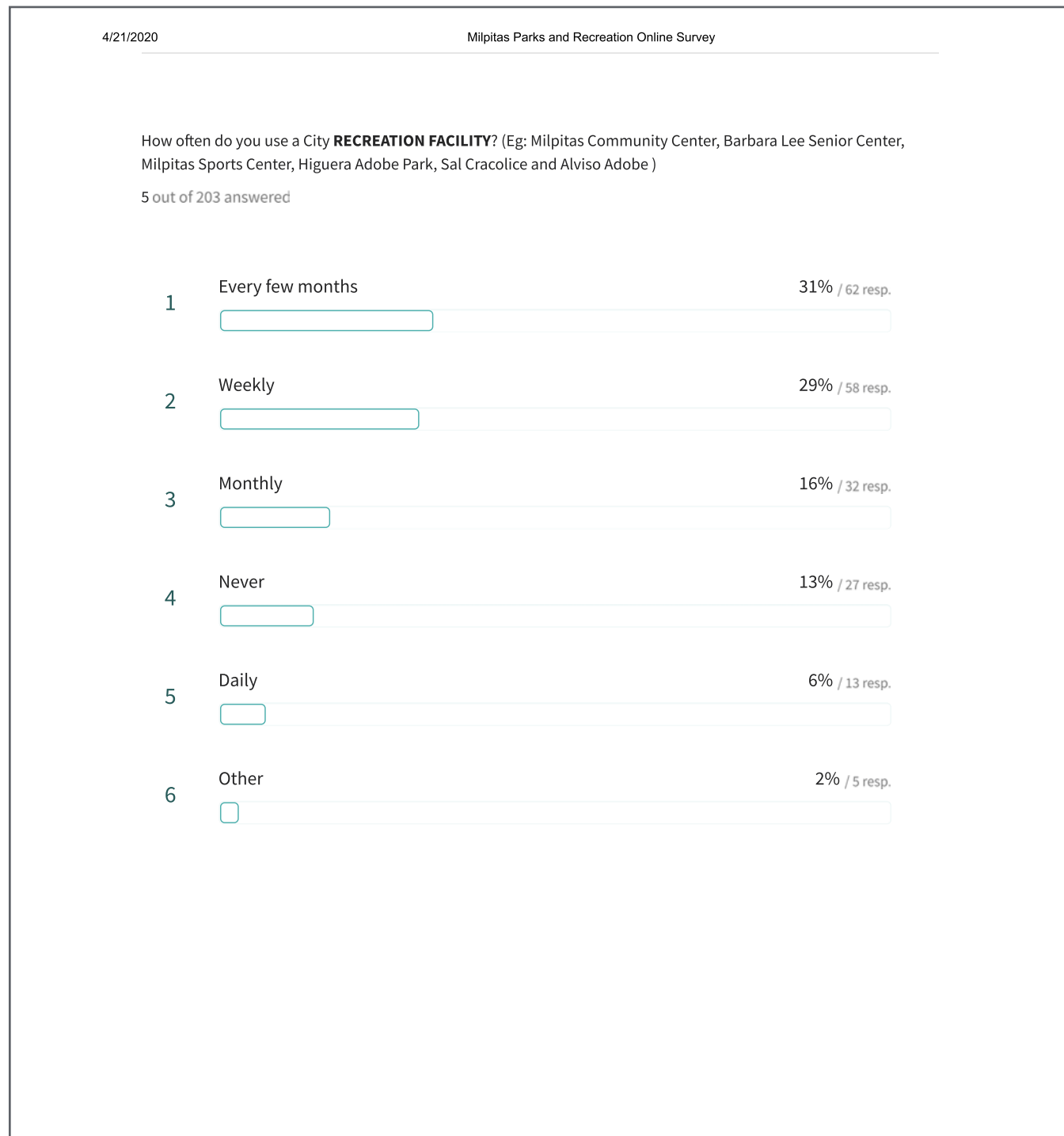


ROUND 1 ONLINE SURVEY QUESTIONS & RESPONSES
(AS OF 4/21/2020)



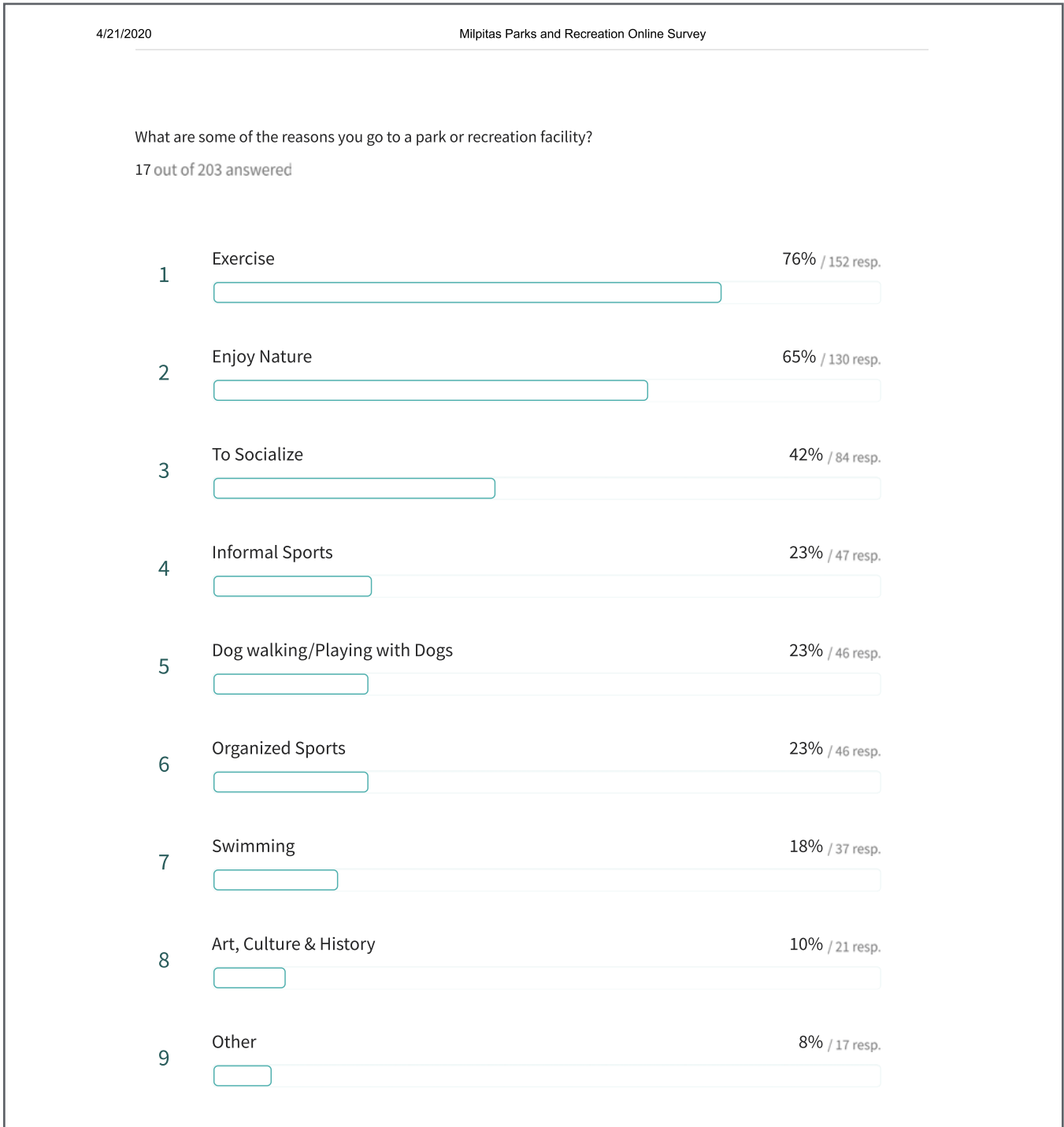
APPENDIX: COMMUNITY OUTREACH

ROUND 1 ONLINE SURVEY QUESTIONS & RESPONSES (AS OF 4/21/2020)



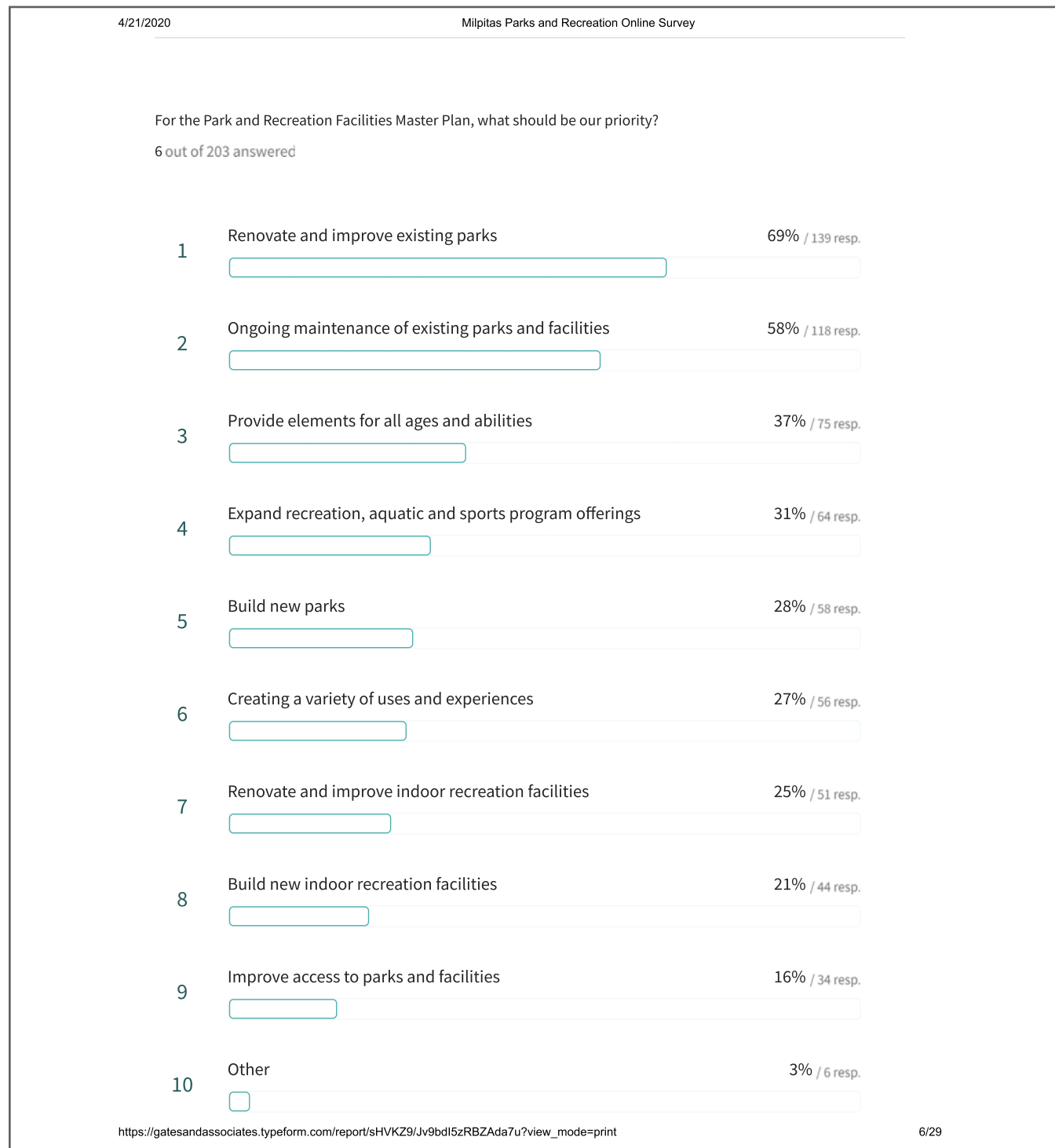
ROUND 1 ONLINE SURVEY QUESTIONS & RESPONSES

(AS OF 4/21/2020)



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ROUND 1 ONLINE SURVEY QUESTIONS & RESPONSES (AS OF 4/21/2020)

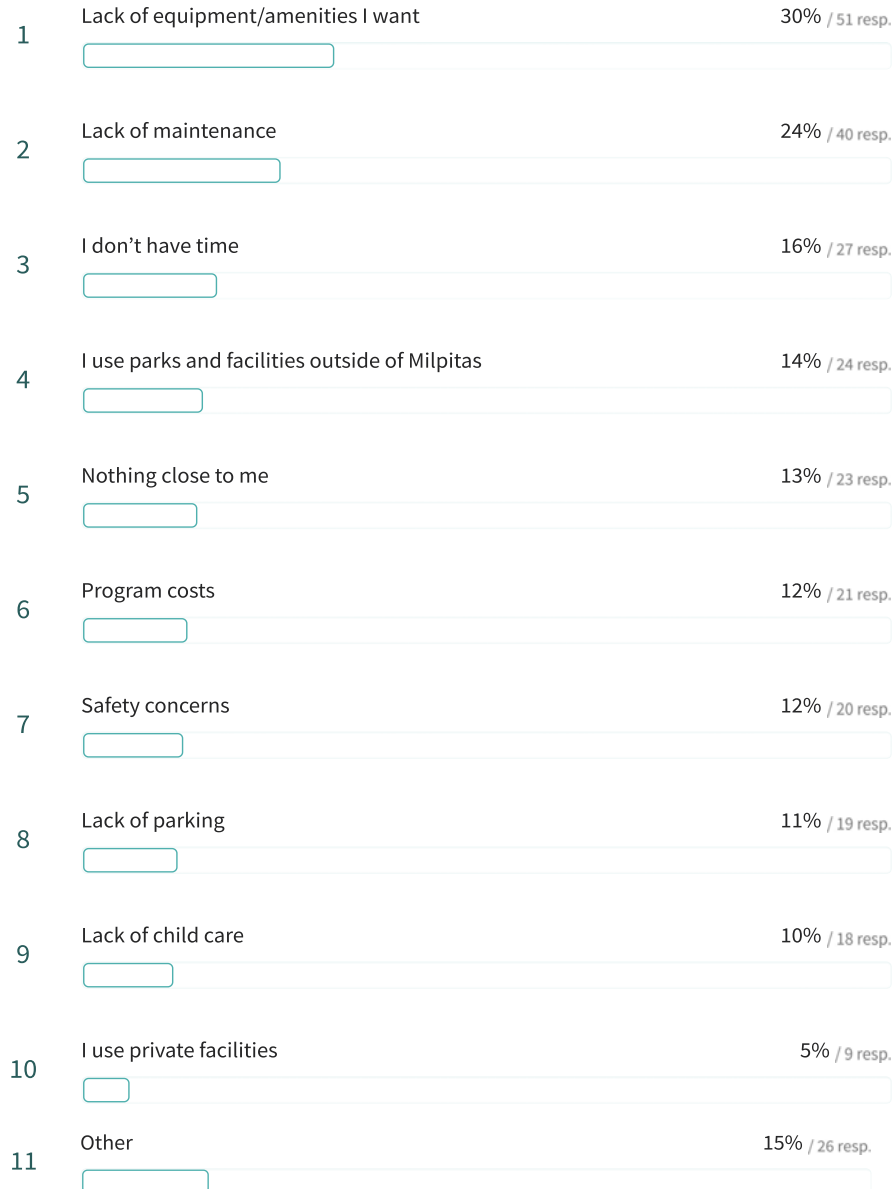


ROUND 1 ONLINE SURVEY QUESTIONS & RESPONSES

(AS OF 4/21/2020)

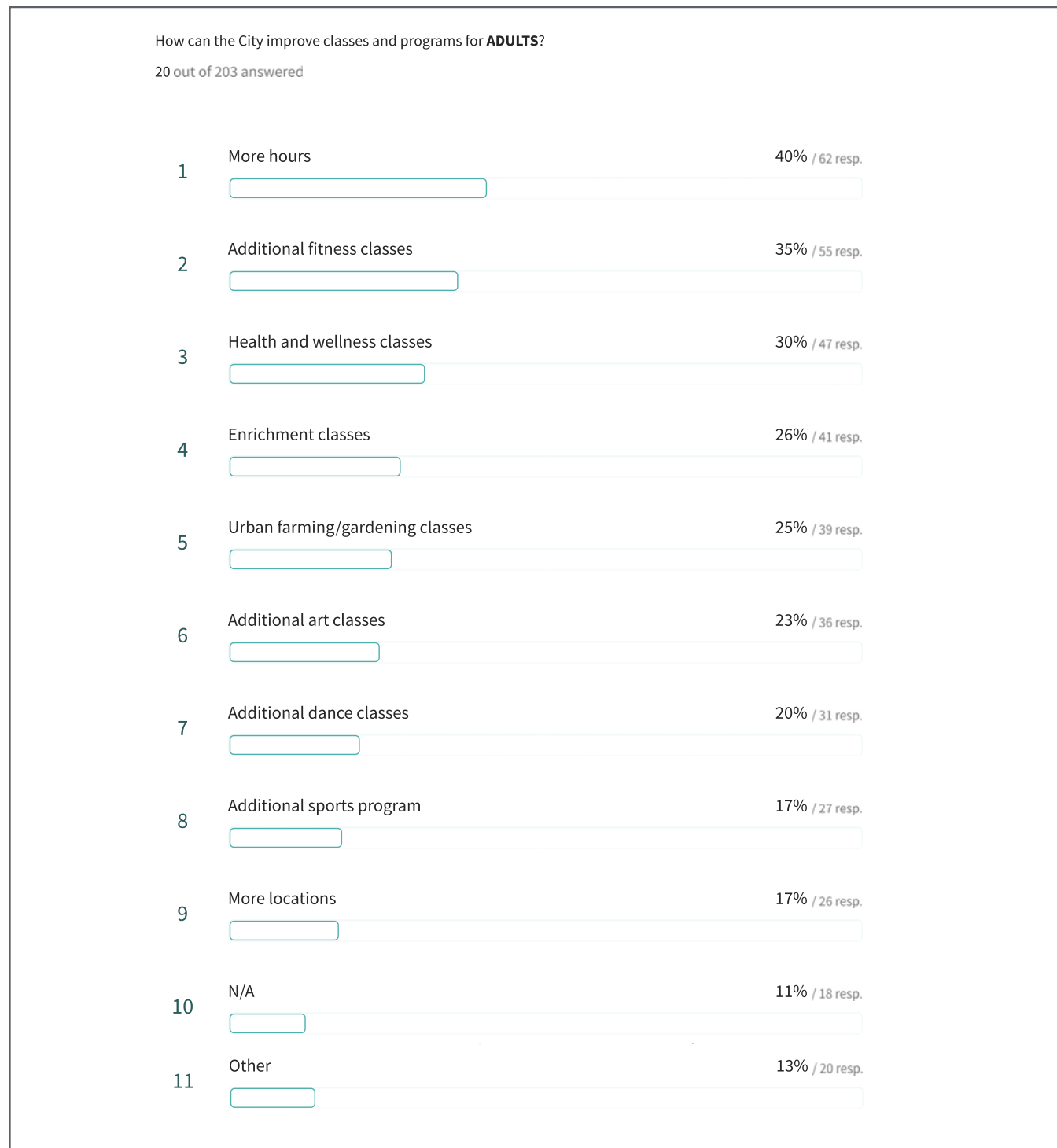
If you do not use the City's Parks and Recreation facilities, what are the barriers?

26 out of 203 answered



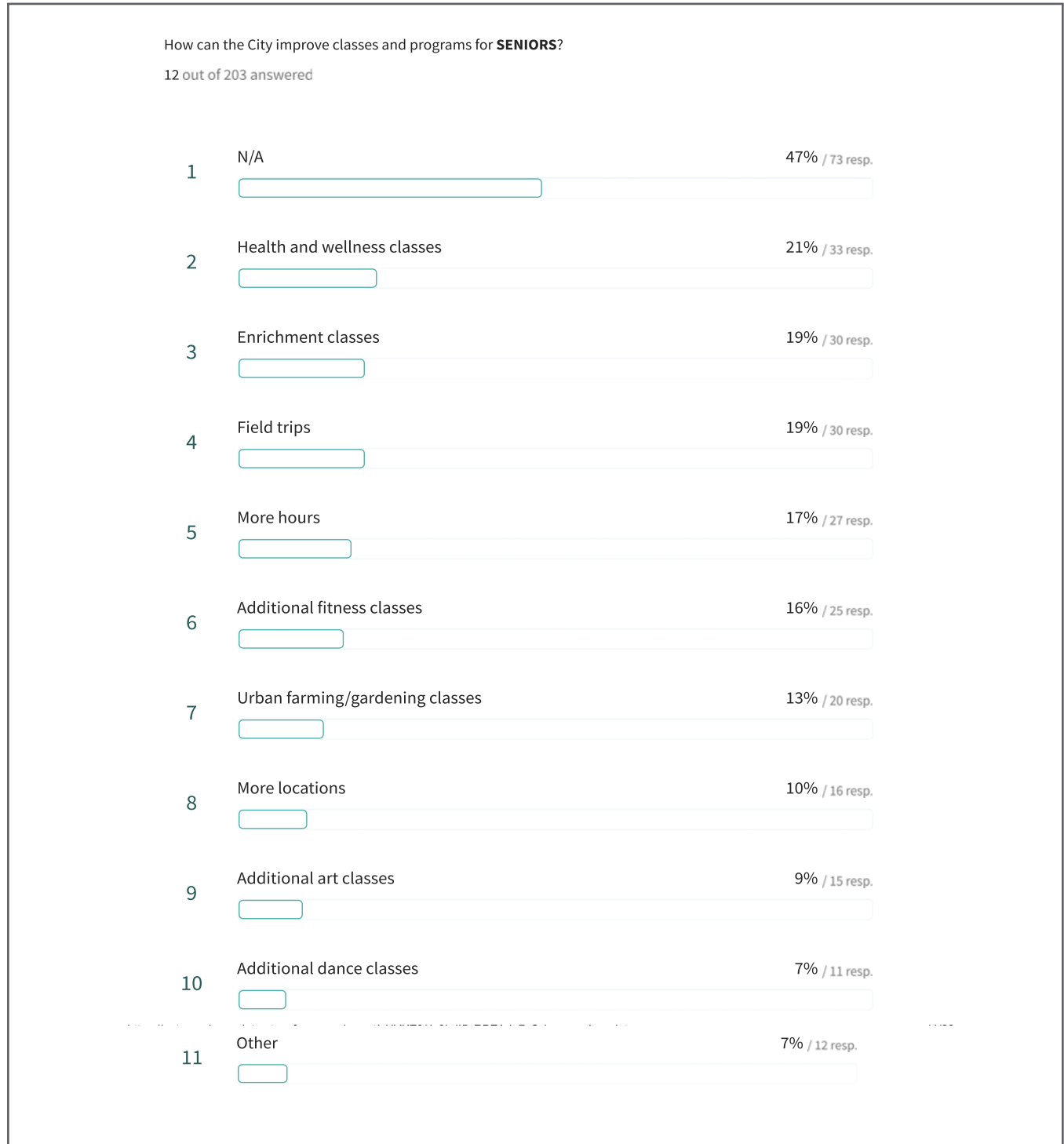
APPENDIX: COMMUNITY OUTREACH

ROUND 1 ONLINE SURVEY QUESTIONS & RESPONSES (AS OF 4/21/2020)



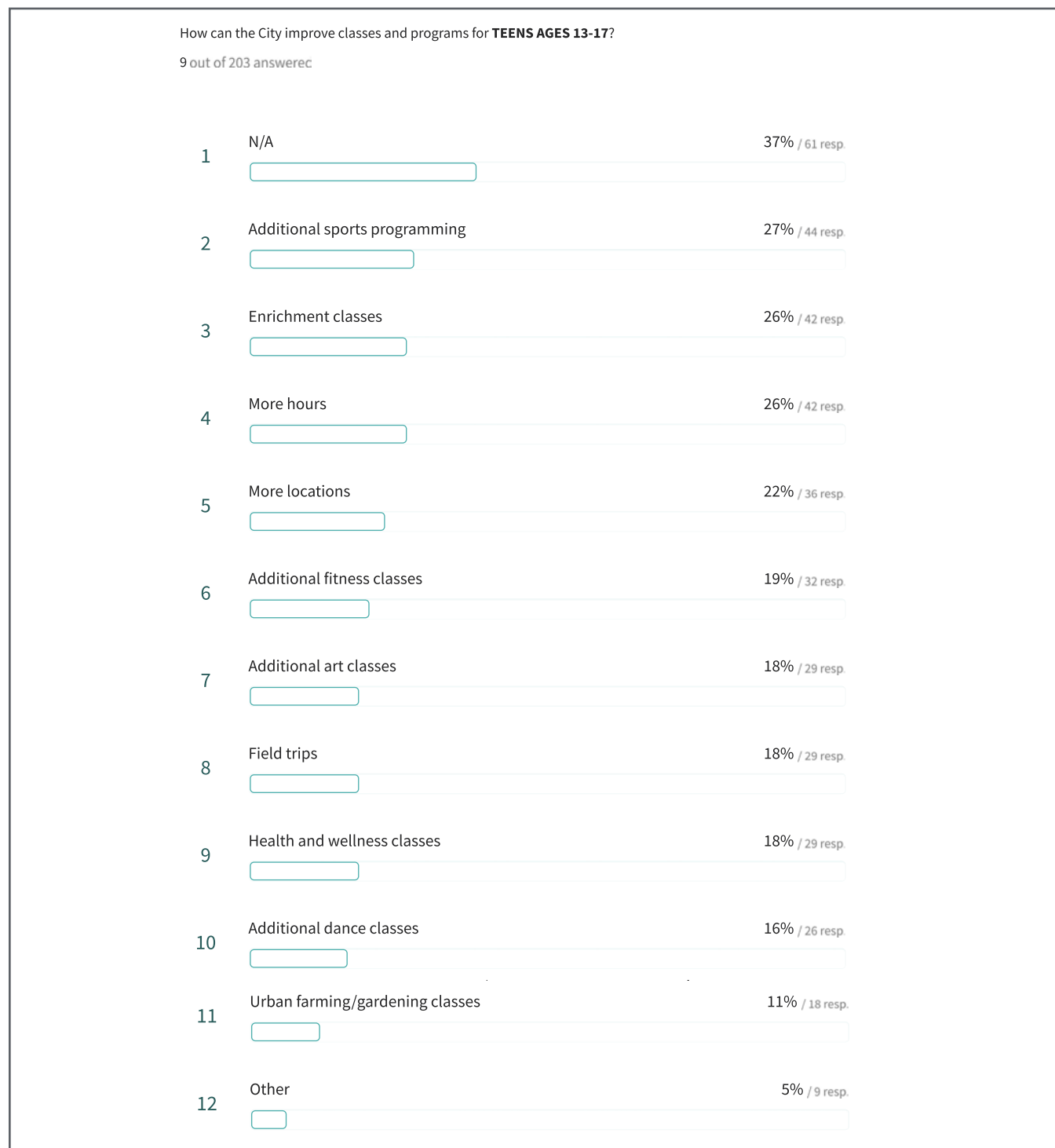
ROUND 1 ONLINE SURVEY QUESTIONS & RESPONSES

(AS OF 4/21/2020)



APPENDIX: COMMUNITY OUTREACH

ROUND 1 ONLINE SURVEY QUESTIONS & RESPONSES (AS OF 4/21/2020)

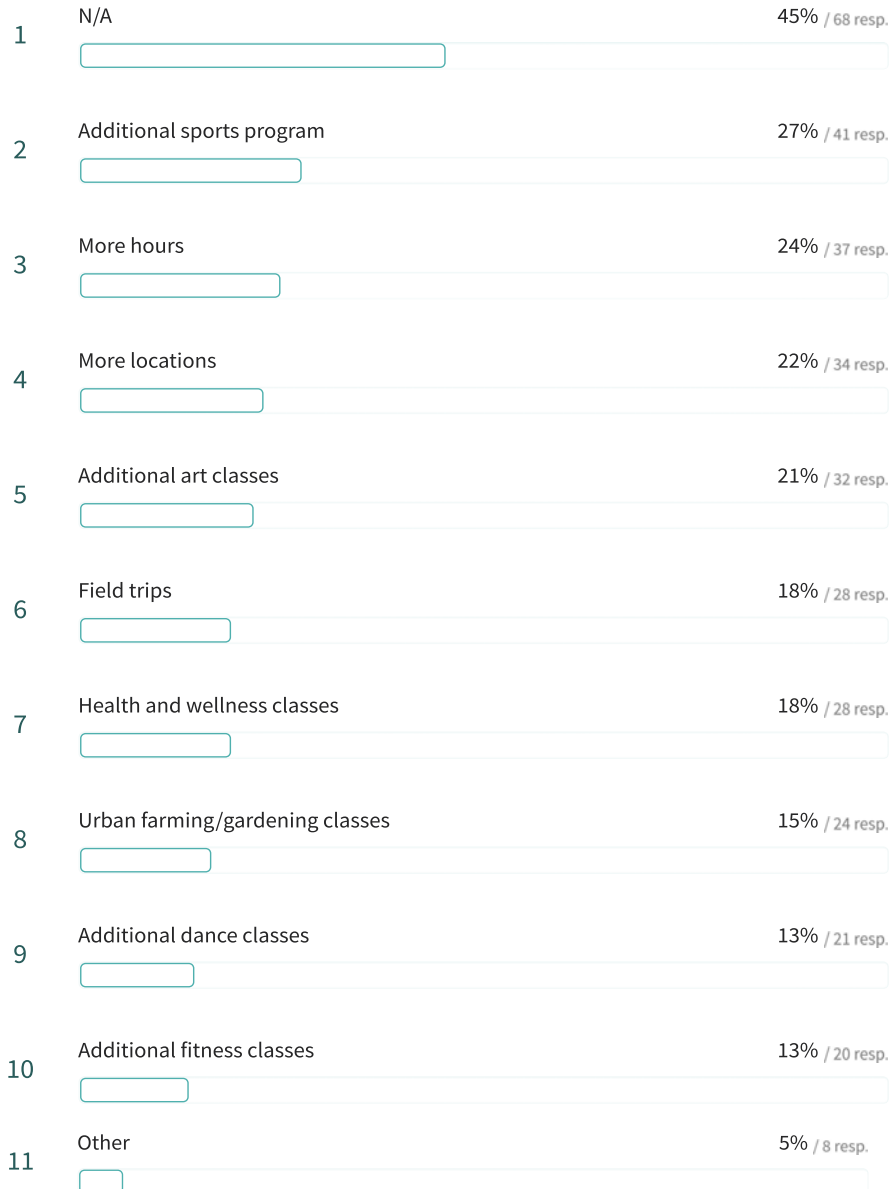


ROUND 1 ONLINE SURVEY QUESTIONS & RESPONSES

(AS OF 4/21/2020)

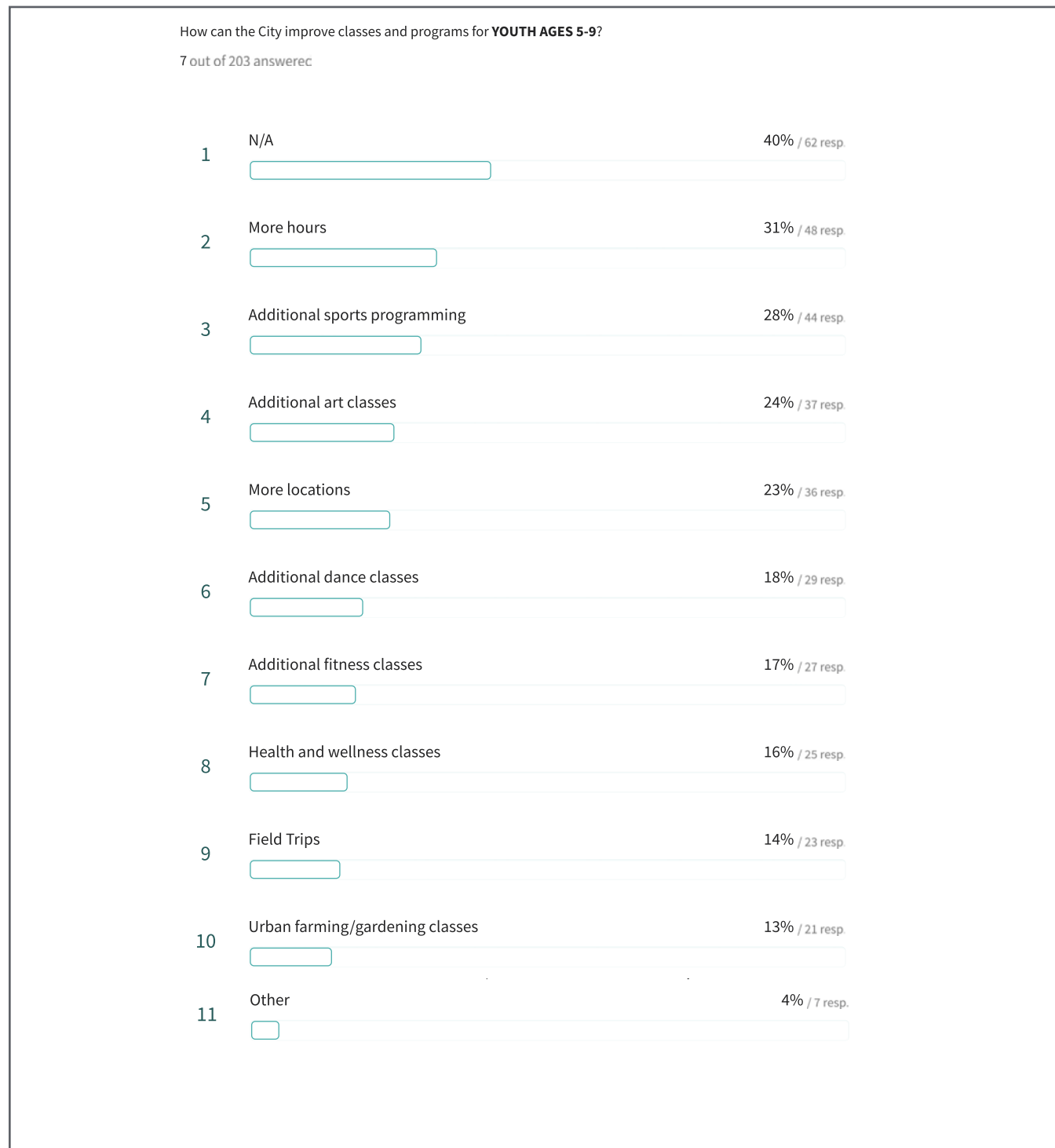
How can the City improve classes and programs for **PRE-TEENS AGES 10-12**?

8 out of 203 answered

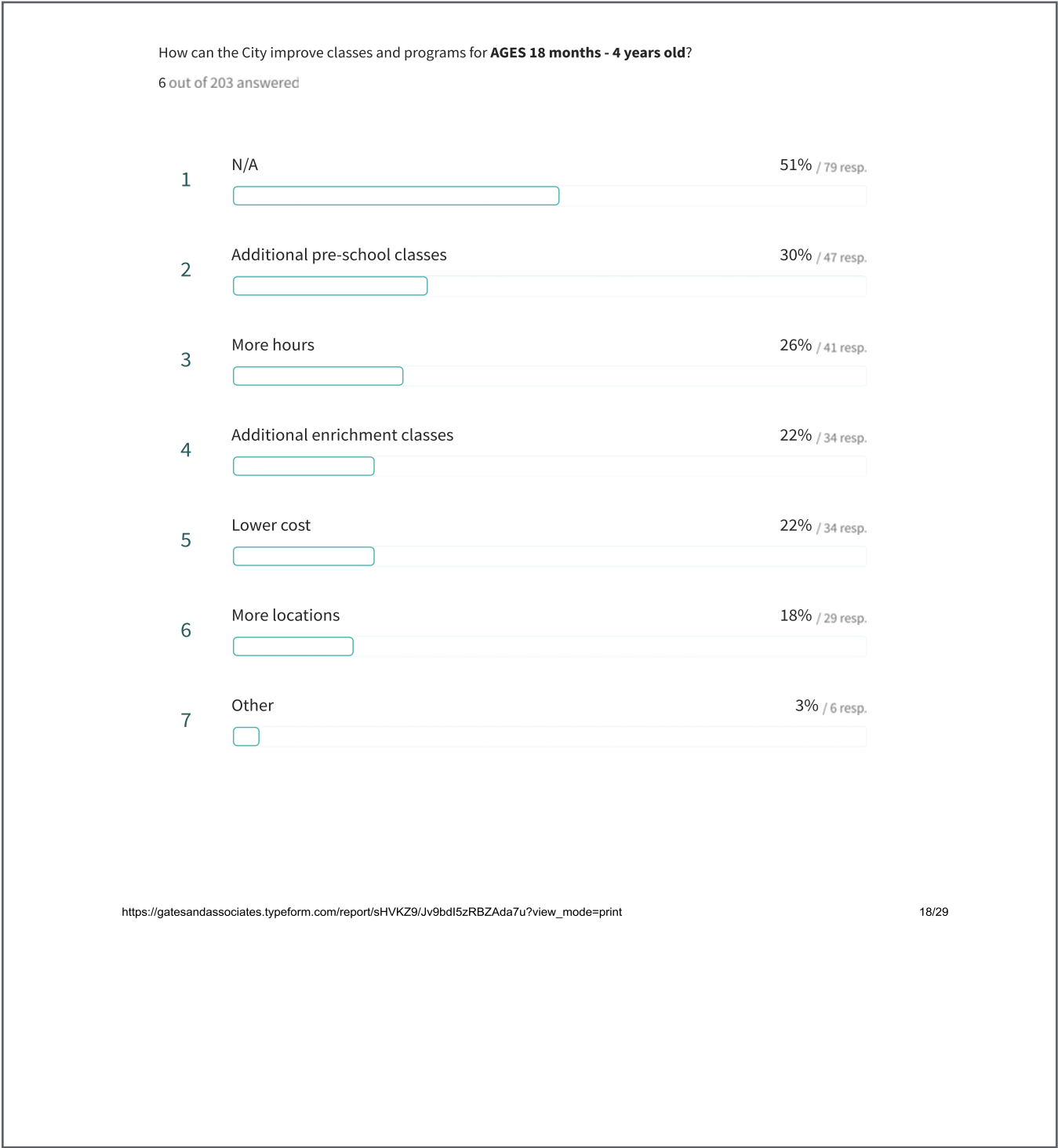


APPENDIX: COMMUNITY OUTREACH

ROUND 1 ONLINE SURVEY QUESTIONS & RESPONSES (AS OF 4/21/2020)



ROUND 1 ONLINE SURVEY QUESTIONS & RESPONSES
(AS OF 4/21/2020)



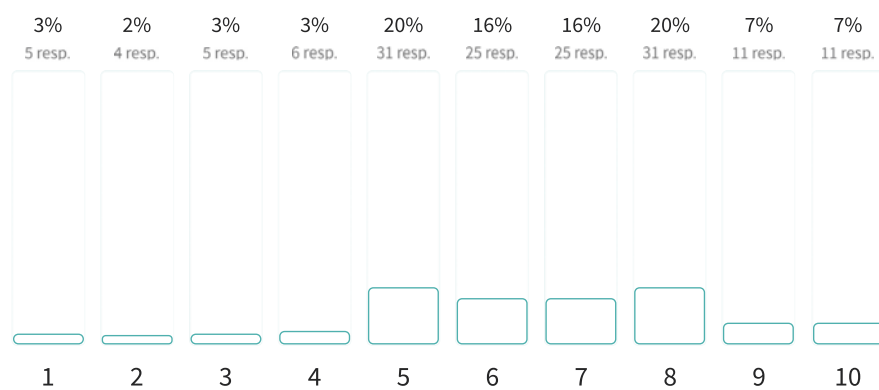
APPENDIX: COMMUNITY OUTREACH

ROUND 1 ONLINE SURVEY QUESTIONS & RESPONSES (AS OF 4/21/2020)

How satisfied are you with the City's online class registration/rental software system?

154 out of 203 answered

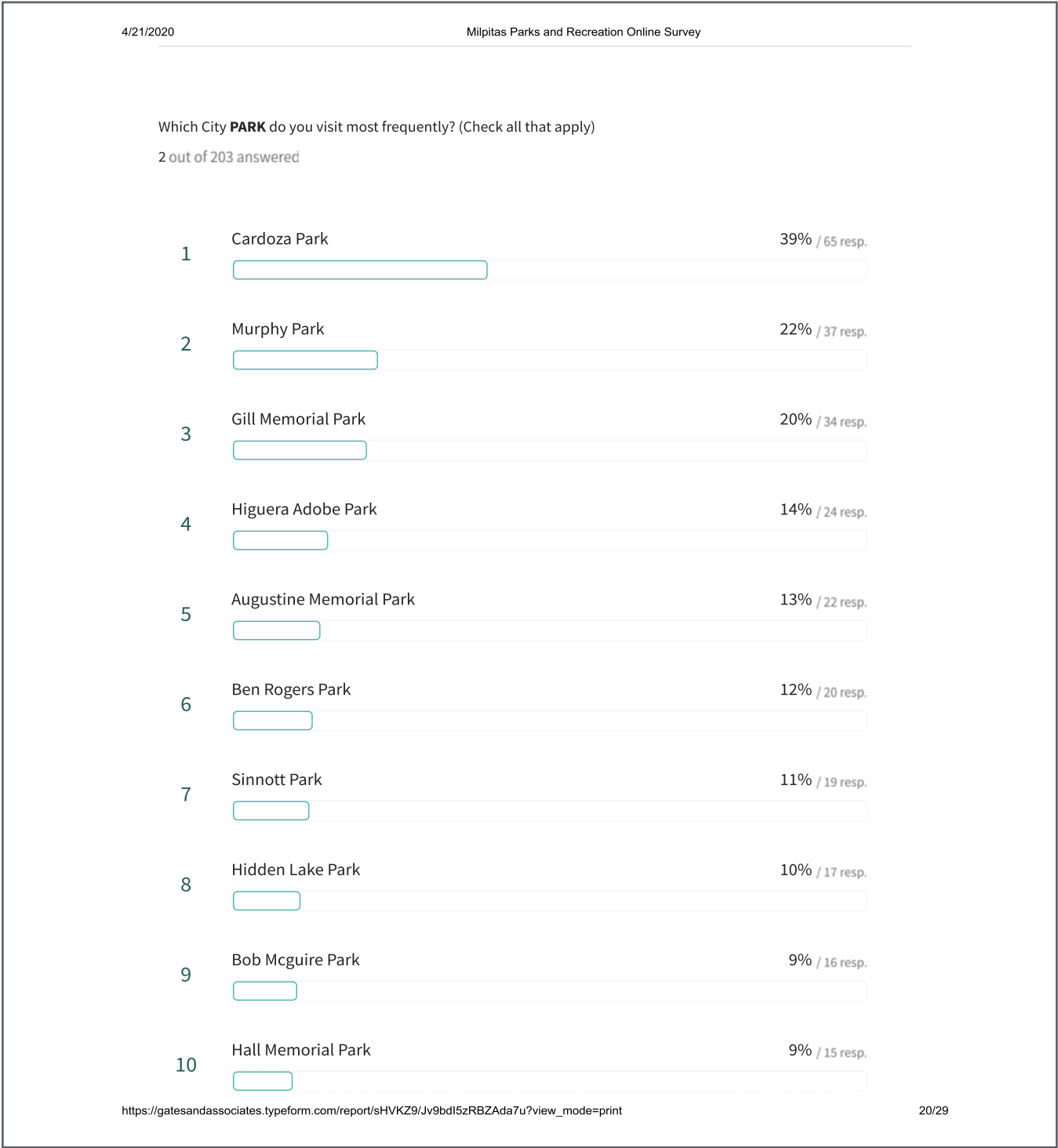
 6.4 Average rating



https://gatesandassociates.typeform.com/report/sHVkZ9/Jv9bdI5zRBZAda7u?view_mode=print

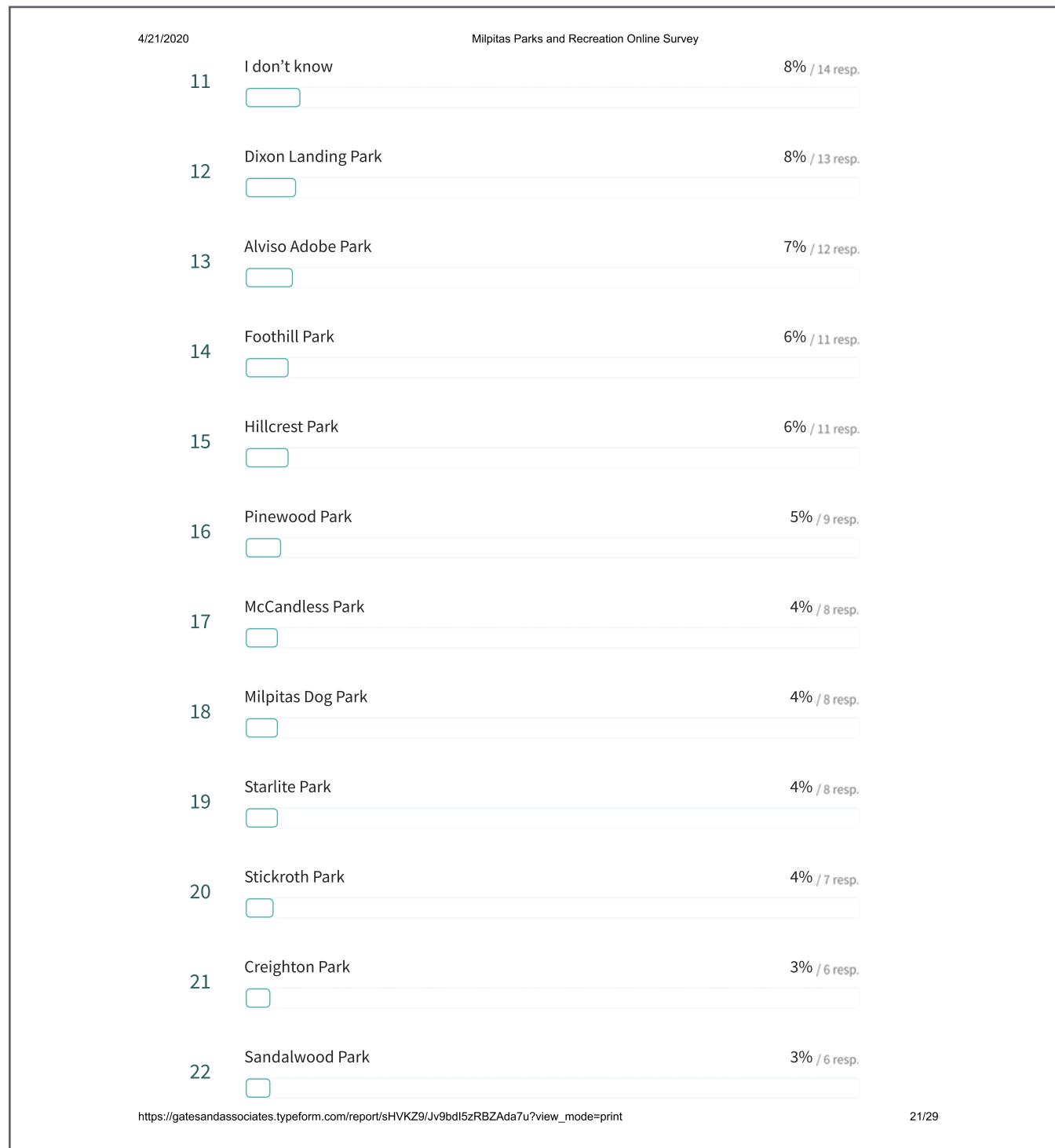
19/29

ROUND 1 ONLINE SURVEY QUESTIONS & RESPONSES
(AS OF 4/21/2020)



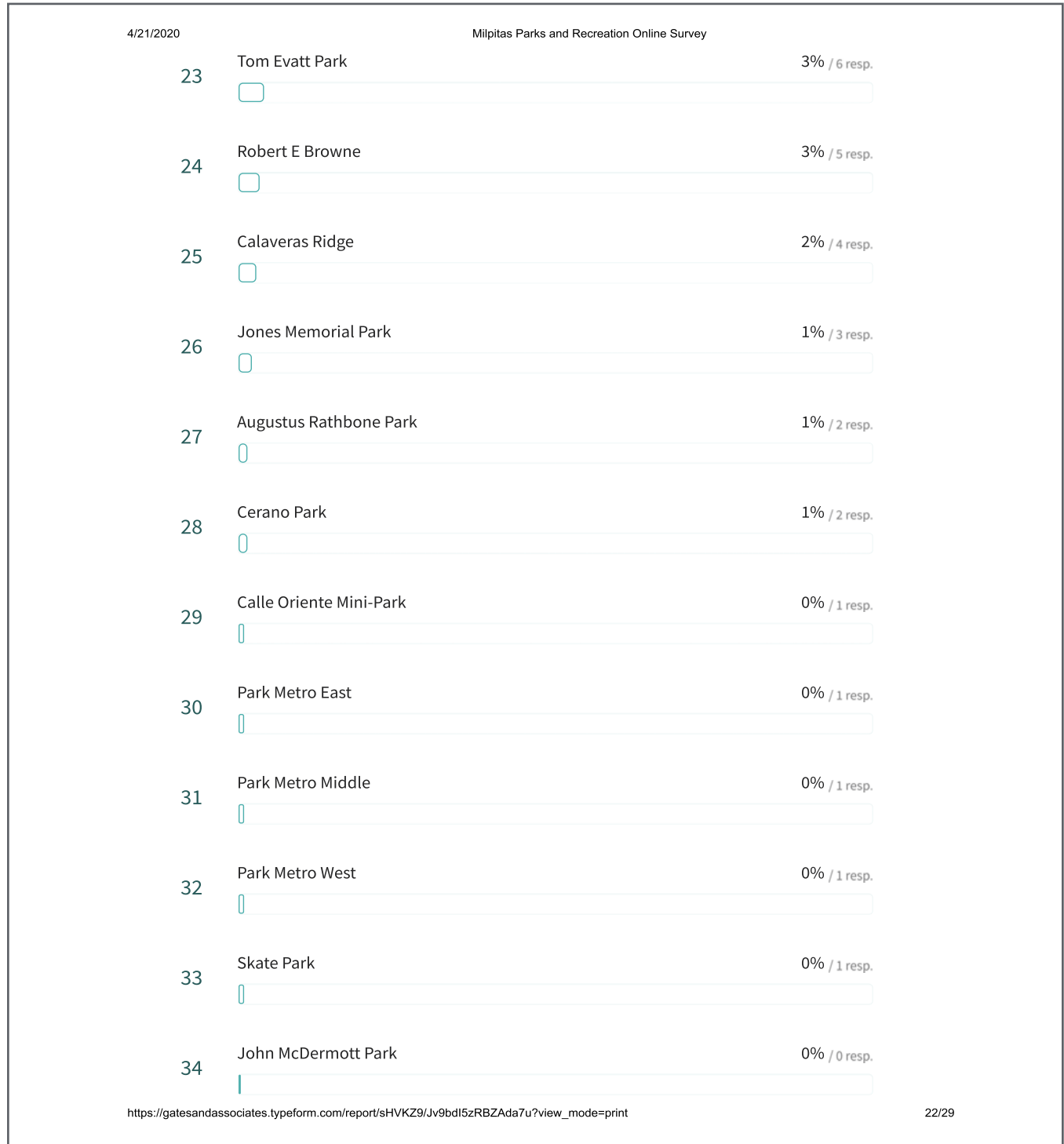
APPENDIX: COMMUNITY OUTREACH

ROUND 1 ONLINE SURVEY QUESTIONS & RESPONSES (AS OF 4/21/2020)



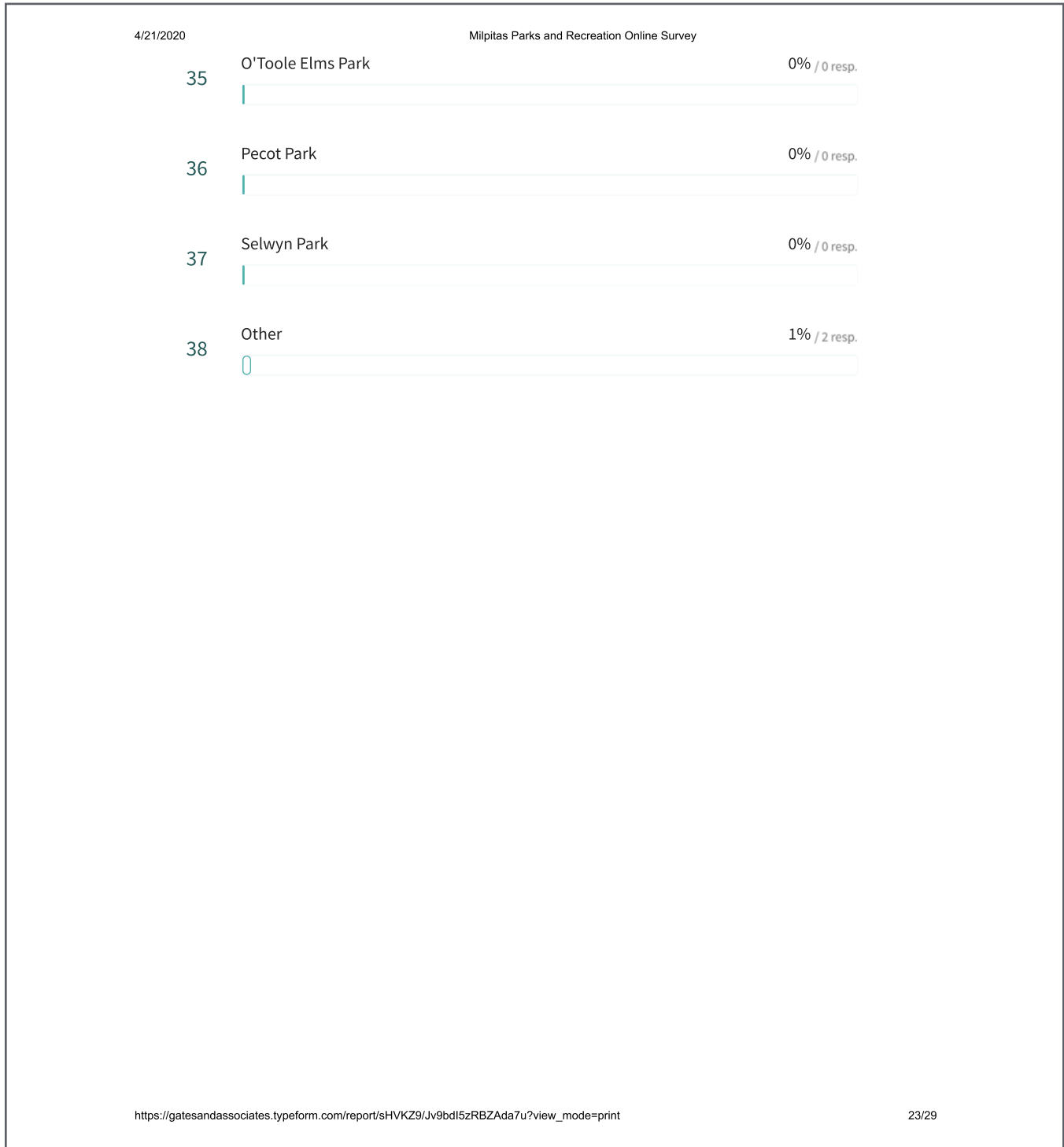
ROUND 1 ONLINE SURVEY QUESTIONS & RESPONSES

(AS OF 4/21/2020)

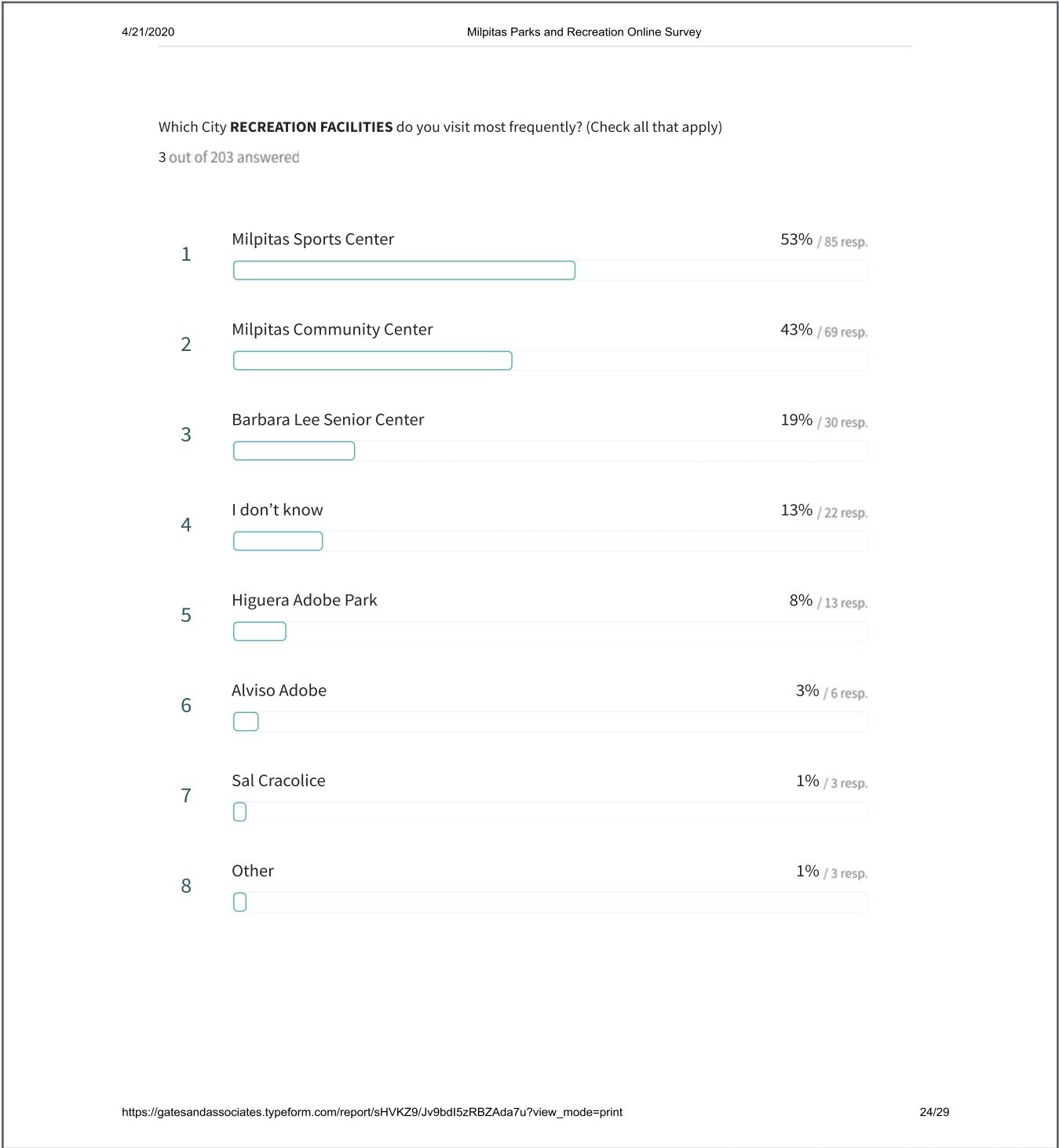


APPENDIX: COMMUNITY OUTREACH

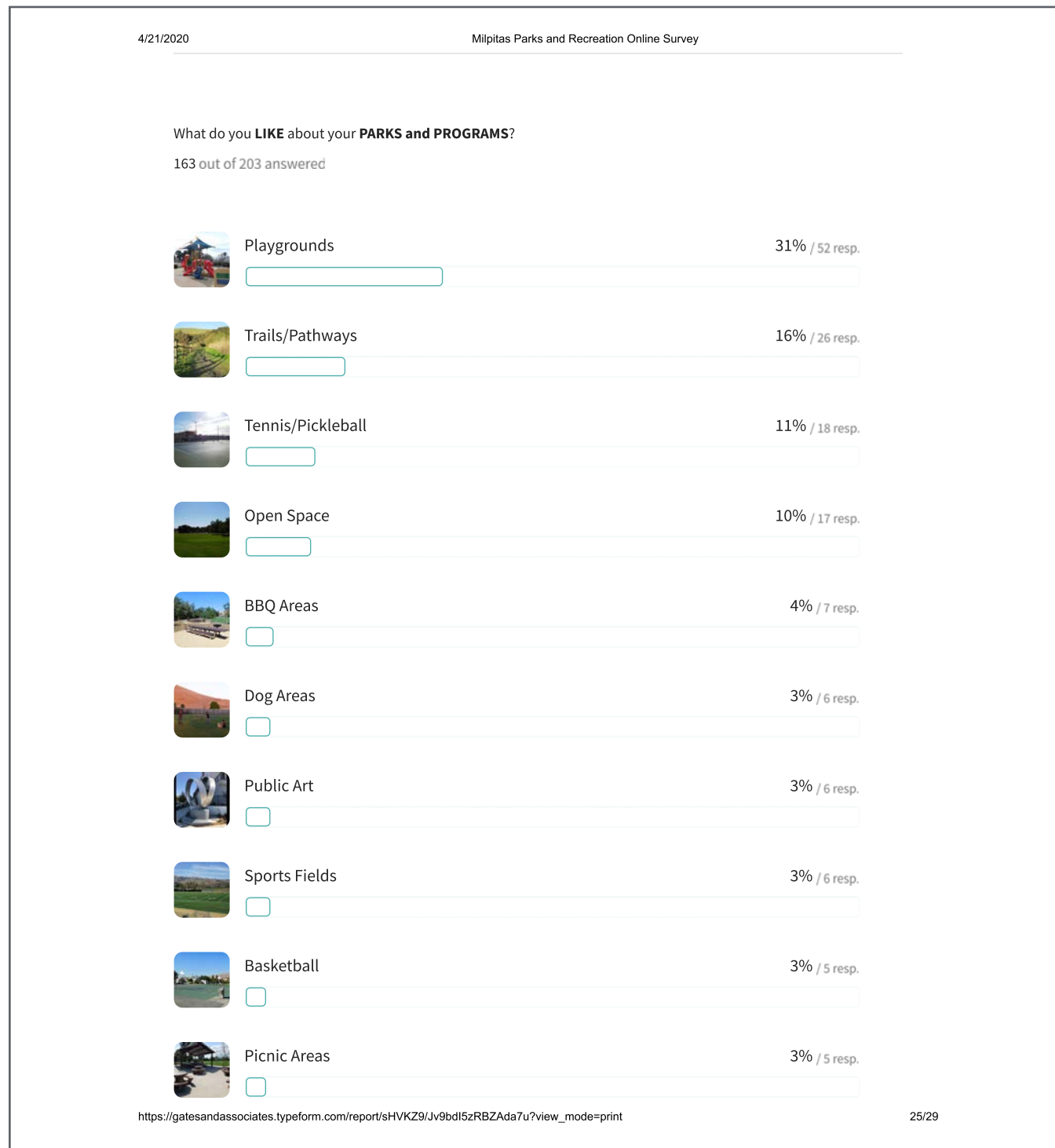
ROUND 1 ONLINE SURVEY QUESTIONS & RESPONSES (AS OF 4/21/2020)



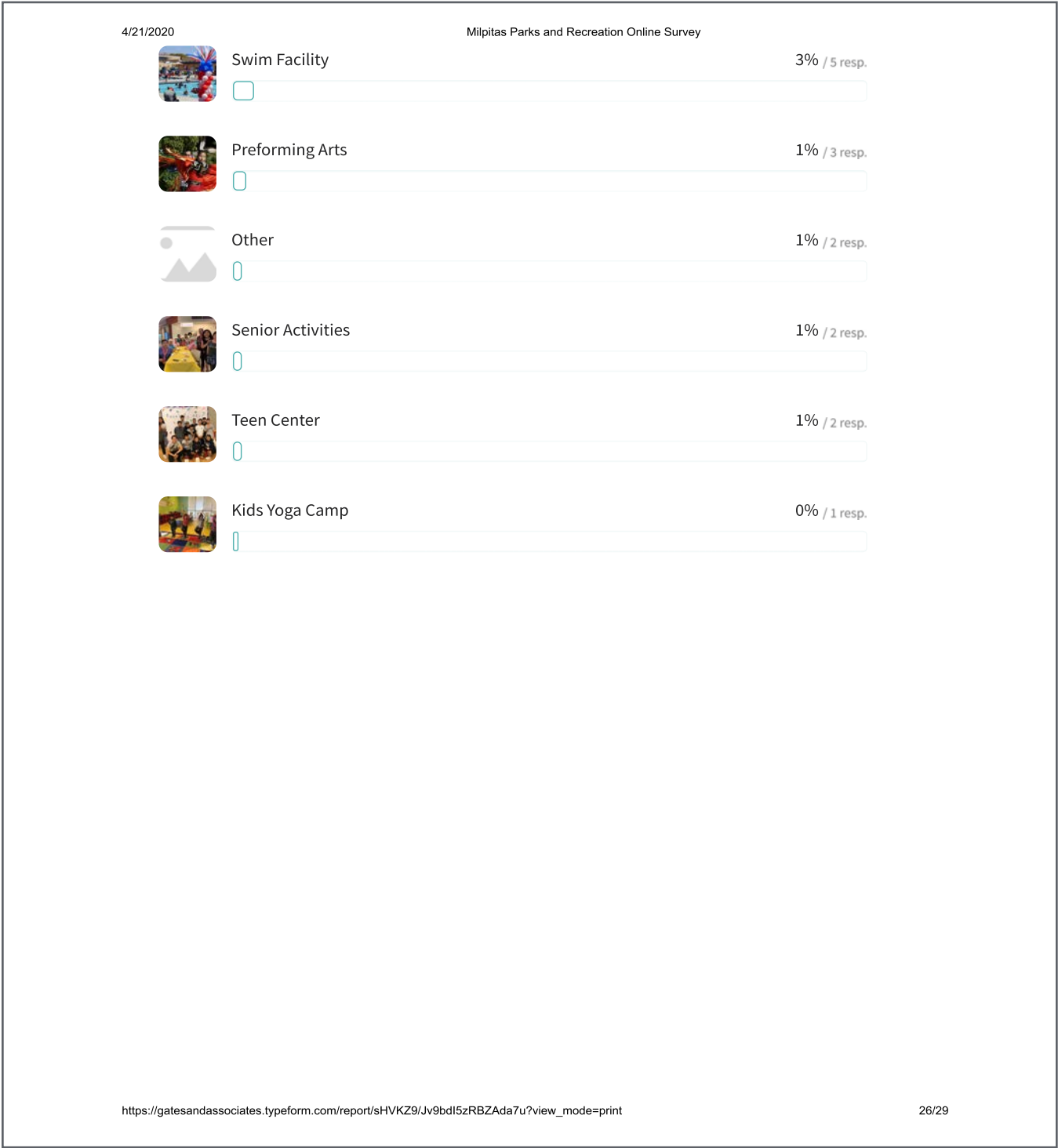
ROUND 1 ONLINE SURVEY QUESTIONS & RESPONSES
(AS OF 4/21/2020)



APPENDIX: COMMUNITY OUTREACH



APPENDIX: COMMUNITY OUTREACH



APPENDIX: COMMUNITY OUTREACH











ROUND 1 ONLINE SURVEY QUESTIONS & RESPONSES (AS OF 4/21/2020)

4/21/2020

Milpitas Parks and Recreation Online Survey

What should be **ADDED** to your **PARKS and PROGRAMS** ?

162 out of 203 answered

	More/Updated Playgrounds	25% / 41 resp.
	Exercise Stations	7% / 12 resp.
	More Community Events	7% / 12 resp.
	Adult Space	5% / 9 resp.
	Better Park Lighting	5% / 9 resp.
	More Indoor Sports	5% / 9 resp.
	Pump Track	5% / 9 resp.
	Teen Space	5% / 9 resp.
	More Outdoor Picnic and Gathering Areas	4% / 7 resp.
	Covered Area/Shade	3% / 6 resp.

https://gatesandassociates.typeform.com/report/sHVkZ9/Jv9bdI5zRBZAda7u?view_mode=print













27/29

ROUND 1 ONLINE SURVEY QUESTIONS & RESPONSES

(AS OF 4/21/2020)

4/21/2020

Milpitas Parks and Recreation Online Survey

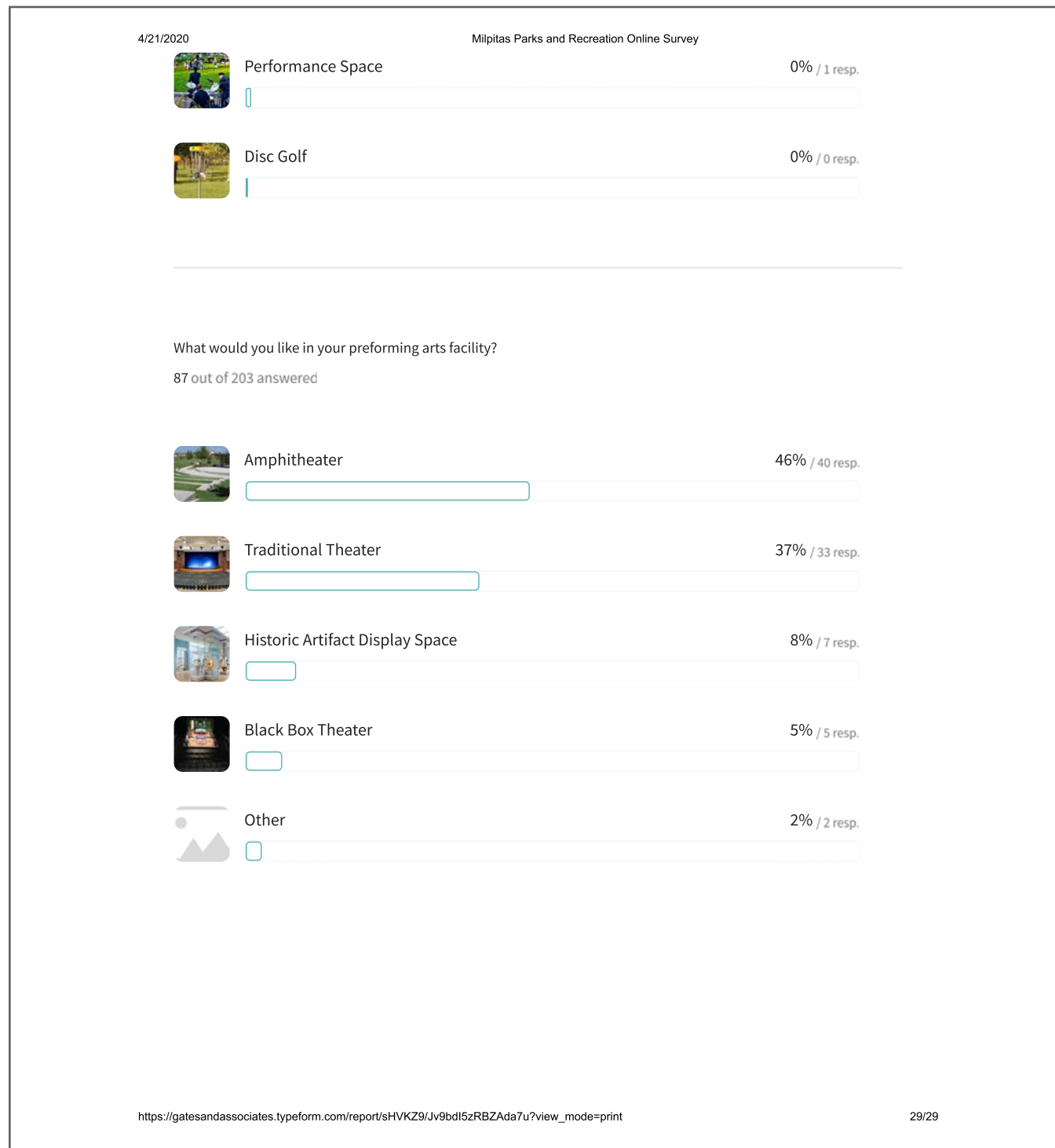
	More Dog Parks	3% / 6 resp.
	Restrooms	3% / 6 resp.
	Bocce	3% / 5 resp.
	More Amenities (Seating, Drinking Fountains, etc.)	2% / 4 resp.
	Community Gardens	1% / 3 resp.
	More Bike Facilities	1% / 3 resp.
	More Computer Classes	1% / 3 resp.
	Other	1% / 3 resp.
	Public Art	1% / 2 resp.
	Demonstration Gardens	0% / 1 resp.
	Game Tables	0% / 1 resp.
	Horseshoes	0% / 1 resp.

https://gatesandassociates.typeform.com/report/sHVkZ9/Jv9bdI5zRBZAda7u?view_mode=print

28/29

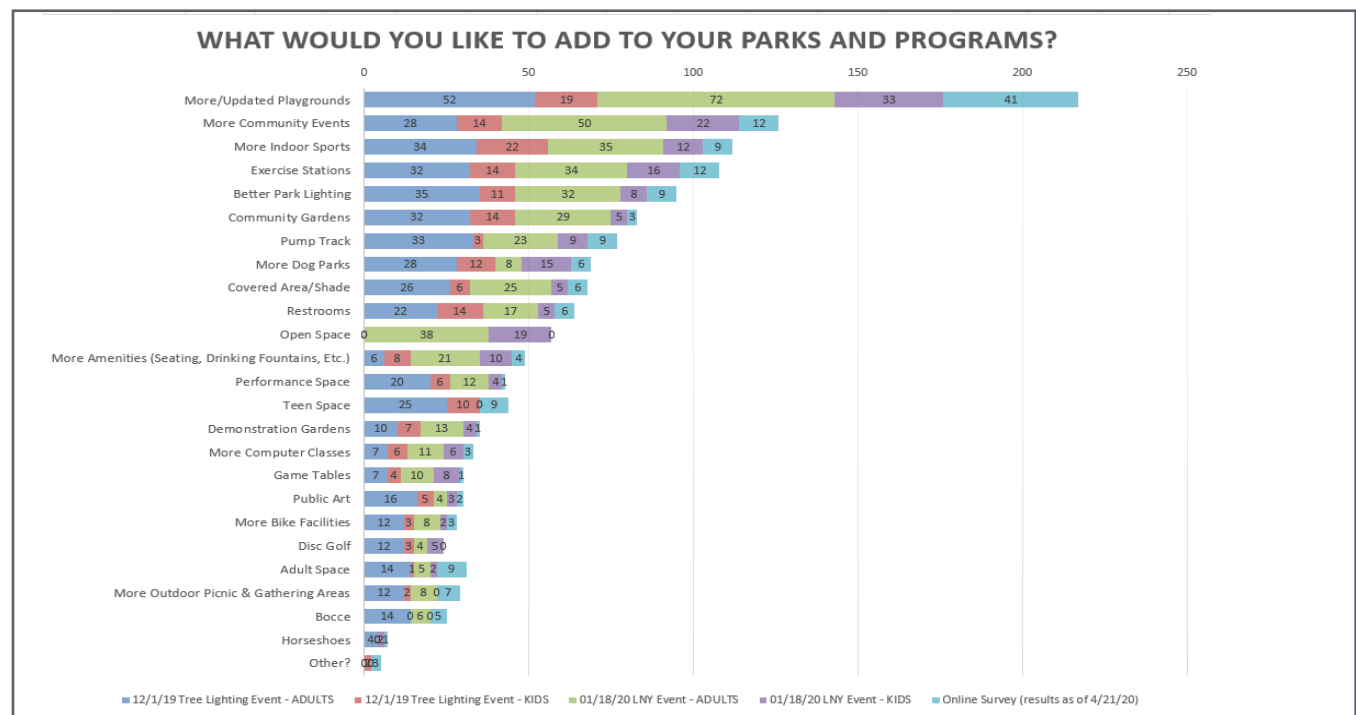
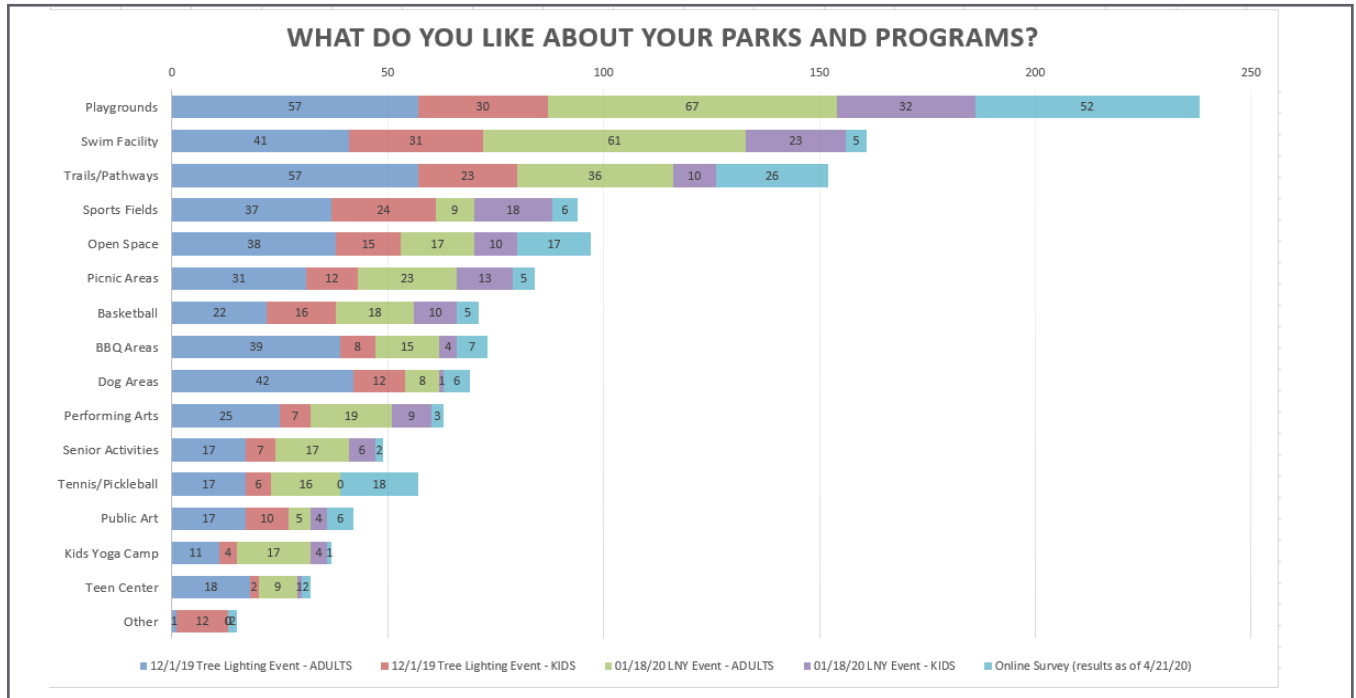
APPENDIX: COMMUNITY OUTREACH

ROUND 1 ONLINE SURVEY QUESTIONS & RESPONSES (AS OF 4/21/2020)



ROUND 1 OUTREACH RESULTS

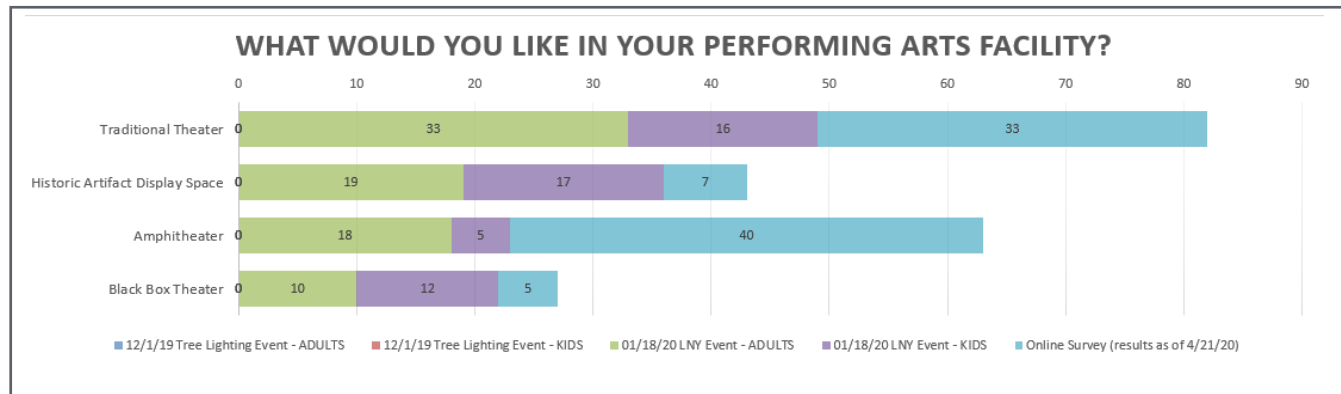
TREE LIGHTING POP-UP | LUNAR NEW YEAR POP-UP | ONLINE SURVEY



APPENDIX: COMMUNITY OUTREACH

ROUND 1 OUTREACH RESULTS

TREE LIGHTING POP-UP | LUNAR NEW YEAR POP-UP | ONLINE SURVEY



SPORTS FOCUS GROUP

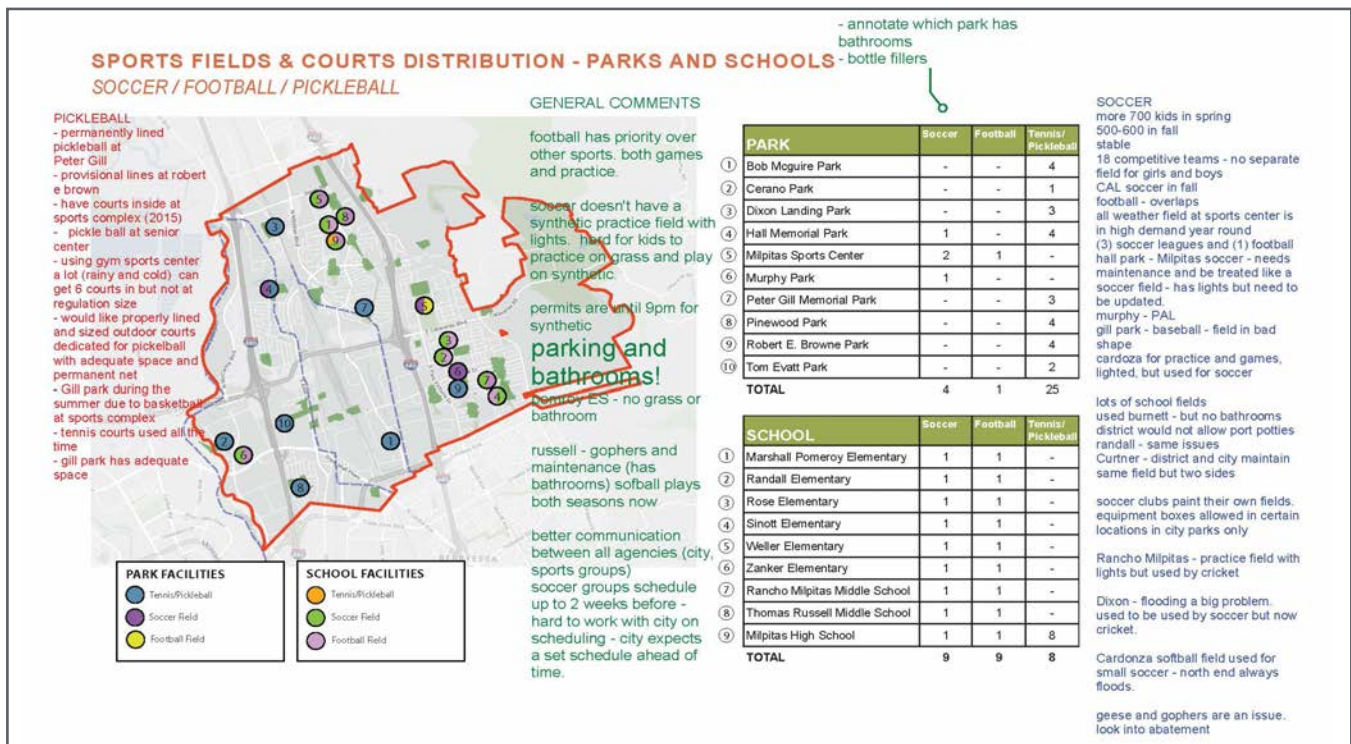
SEPT. 24, 2020 | ZOOM

PURPOSE OF MEETING

This meeting was held to discuss the needs of the Organized Sports User Groups in relation to the City-owned and/or maintained sports fields and courts. Our team reviewed efforts-to-date and held a Q&A session within breakout rooms. The sports groups invited to share input included:

- Cricket
- Milpitas Youth Soccer
- PAL Softball
- PAL Soccer
- Youth Rugby & JR Giants Baseball
- Knights Football
- Youth Baseball
- Adult Soccer
- Pickleball

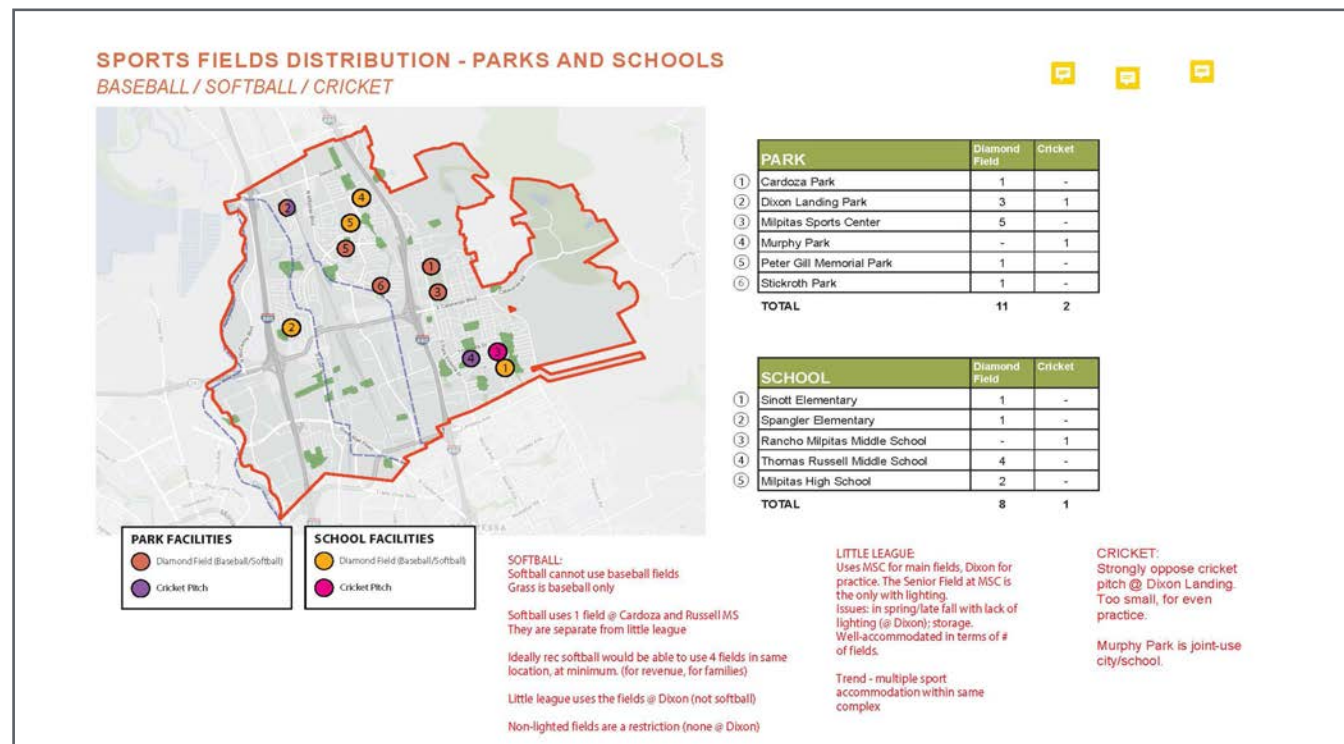
SOCCER / FOOTBALL / PICKLEBALL BREAKOUT ROOM PARTICIPANT INPUT



SPORTS FOCUS GROUP

SEPT. 24, 2020 | ZOOM

BASEBALL / SOFTBALL / CRICKET BREAKOUT ROOM PARTICIPANT INPUT



SPORTS FOCUS GROUP - MEETING SUMMARY

SEPT. 24, 2020 | ZOOM

Milpitas Sports Focus Group Meeting

Breakout Group #2 Cricket and Ballfields

Softball

PAL Softball	Tina Ortiz and Elena Gill
JV Softball	Rosie Walker – Milpitas Monsters Softball
Rec Softball	

Cricket

Club and Academy	Abrar Ahmad
Milpitas Youth	

Baseball

Little league	Jose Gomez, Laurie and Brian King
Adult / Tournament	Jose Gomez
Farr T-ball	

Requirements

Softball

2001 outfield, skinned infield

Baseball

Little league	300' to centerfield
	Skinned / grass infield games, skinned practiced
Jr. Baseball	225' – 250' to centerfield

Cricket

flexible / 50' x 250' – 300'

SPORTS FOCUS GROUP - MEETING SUMMARY

SEPT. 24, 2020 | ZOOM

	Baseball				Softball		
*Assuming Milpitas Master Plan	Adult	LL Game	LL Practice	T-ball Practice	Game	Practice	Cricket
City Parks							
Cardoza					1	1*	
Dixon	1	2		2			1
Milpitas Sports	1	2	2				
Murphy Park / School							1
Gil Memorial					1		
Strickroth				1			
Schools							
Russel Middle School					3	1	
Rancho Milpitas			1				1

Findings:

Cricket – Fast growing non-contact sport, intermural and competitive leagues. Need better facilities. Have money to invest in improvements.

Baseball – Currently feels they have adequate fields.

Some t-ball use conflicts at Dixon T-ball with cricket pitch.

Softball – Currently has 4 fields at Russel Middle School.

This allows them to schedule all games together and support concession stand. District improvements current schools have closed fields. In future only 2 fields available. Sports is expanding to year round.

Competitive softball team exploring relocating to Fremont fields.

Recommendations:

- Consider lighting of fields at Dixon Landing, Rancho Milpitas and Murphy Park to expand hours of operations and accommodate more use as community grows.
- Consider converting synthetic turf to expand field capacity to handle wear and team with additional use and ability to use fields year round.
- Add storage facilities at fields.
- Provide access to restrooms and parking.

SPORTS FOCUS GROUP - MEETING SUMMARY

SEPT. 24, 2020 | ZOOM

- Work with school district to allow city to maintain and schedule fields on school property after school hours.
- Add “shared” baseball / cricket batting cages
- Consider relocating path at Murphy Park to reduce conflict with cricket. Cricket and ball field could be co-located at this site.
- Improvements to grades and field condition in cricket/t-ball portion of Dixon landing could expand usability of those fields.

All sports groups recognize the challenge of meeting sports recreation needs in a community where there’s very limited new park land. All users were willing to work collaboratively to address needs.

SPORTS FOCUS GROUP - MEETING SUMMARY

SEPT. 24, 2020 | ZOOM

Soccer / Football / Pickleball Breakout Group - Summary

SOCCER

- 700+ kids in spring; 500-600 in fall; stable
- 18 competitive teams - no separate field for girls and boys
- PAL soccer in fall (**Murphy Park**)
- Football – overlaps
- All weather field at sports center is in high demand year round
- (3) soccer leagues and (1) football
- **Hall Park**: Milpitas soccer - needs maintenance and be treated like a soccer field - has lights but need updating
- **Gill Park**: baseball field in bad shape
- **Cardoza Park**: for practice and games, lighted, but used for soccer; softball field used for small soccer; **north end flooding issues**
- **Many school fields, but lack of bathroom access:**
 - **Burnett, Randall**
 - District would not allow port-a-potties
- **Curtner** - district and city maintain same field but two sides
- Soccer clubs paint their own fields. Equipment boxes allowed in certain locations in city parks only
- **Rancho Milpitas**: practice field with lights but used by cricket
- **Dixon**: **flooding** issues; previously used by soccer but now cricket.
- Geese and gophers are an issue; look into abatement

PICKLEBALL

- **Peter Gill**: has permanently lined pickleball; adequate space; used during summer due to basketball @ sports complex
- **Robert E Browne**: Provisional lines
- Have courts inside at sports complex (2015)
- Pickleball at senior center
- Using gym sports center a lot (rainy and cold); can get 6 courts in but not at regulation size
- Would like properly lined and sized outdoor courts dedicated for pickleball with adequate space and permanent net
- Tennis courts used all the time

GENERAL COMMENTS

- Football has priority over other sports (both games and practice)
- **Recommend a synthetic practice field for soccer** – difficult for kids to practice on grass and play on synthetic; permits are until 9pm for synthetic
- **Need parking and restrooms**
- **Pomeroy Elementary** - no grass or bathroom
- **Russell** - gophers and maintenance (has bathrooms); softball plays both seasons now
- **Need better communication between all agencies** (city, sports groups); soccer groups schedule up to 2 weeks before; scheduling difficulties with City (expect a set schedule ahead of time)

TEEN FOCUS GROUP - MEETING SUMMARY

OCT. 1, 2020 | ZOOM

PURPOSE OF MEETING

This meeting was held to discuss the needs and desires of teens in relation to the City-owned parks and recreational programming. The project team asked a group of 10 participants to provide input on what their barriers were to using the existing parks, and also to share what they want to see in parks and programming.

Milpitas Teen Focus Group 10/01/2020

How can the Milpitas Park and Recreation system address the needs of the teen population?

10 participants – primary use Dixon Landing Park and Pinewood

What are the barriers to park usage?

- Lack of amenities tailored to teens, amenities primary for younger children
- Parents concern for teen safety when visiting park independently
- Condition of some amenities; taken and benches aging, parks feels old
- Paths too narrow to accommodate variety of users – skateboarders, joggers, bikes
- Basketball and tennis accommodate by the user groups
- Lack of time when school is in session

What would you like to see in parks?

1. Park opportunities to socialize through planned events provide

- Movie in park, stargazing
- Food trucks, pop-up café
- Special lighting and music for evening events

2. Amenities geared to teens

- Rope challenge course, large spinner requiring collaboration to move, tall climbing elements
- Wi-fi
- Exercise stations clustered to socialize
- Art (interactive mural)
- Swings for teenagers
- Ping pong tables
- Skateboard spots in local parks so teens can walk not drive
- Informal stage

TEEN FOCUS GROUP - MEETING SUMMARY

OCT. 1, 2020 | ZOOM

3. Provide a place to connect with natives
 - Habitat for birds
 - Emphasis sustainability
 - Appreciate beauty of scenery
 - More natural characters
4. Make parks more comfortable in summer, when teens are not in school
 - Splash pads (but do not waste water)
 - Co-sheltered tables
 - Areas to gather in shade and hang out
 - No wood tables/benches
5. Current activities
 - Picnic
 - Paint
 - Meet friends

NEW RESIDENT FOCUS GROUP - MEETING SUMMARY

OCT. 1, 2020 | ZOOM

PURPOSE OF MEETING

This meeting held to discuss the needs and desires of new residents in relation to City-owned neighborhood parks. The project team asked a group of 5 participants to provide input on what their barriers were to using the existing parks, and also to share what would get them outside.

Milpitas New Resident Focus Group 10/01/2020

How can the Milpitas Park and Recreation system meet the needs of the new residents living in higher density neighborhoods?

5 participants, primarily use Bob McGuire and Pinewood Park.

Emerging Themes –

1. Want parks to facilitate “getting to know neighbors”
 - Group exercise area to socialize and workout
 - Activate park with events – outdoor Zumba or yoga class
 - Movies in park
2. Park needs to be convenient and comfortable to visit and linger
 - Need Wi-Fi
 - Restrooms especially for parents with small children
 - Within walking or biking distance
3. Want equity protocols / systems to reduce use conflicts
 - Tennis courts very popular, need timer, sign-up sheet or on-line reservable as possible strategies to schedule court use.
4. Provide adequate parking to accommodate reserved use of recreation building or group picnic areas
 - Possible permits for on-street parking areas with reservation

NEW RESIDENT FOCUS GROUP - MEETING SUMMARY

OCT. 1, 2020 | ZOOM

5. Provide a greater variety of uses

- Pickleball, outdoor ping pong, tennis ball backboard
- Shaded group picnic area
- Want swings for adults and kids

6. Create a shared history

- Provide information about history of park name or events with Milpitas in Park

7. Misc.

- Limit sand in play areas (cleanliness and safety)
- Avoid evening use of park
- Like 7 Seas Park play area for toddler

VIRTUAL TOWN HALLS - MARKETING COLLATERAL

OCT. 10 & 14, 2020 | ZOOM



MILPITAS PARKS + RECREATION MASTER PLAN

VIRTUAL TOWN HALL

Help create the vision for the Milpitas park and recreation system!
2 Options to Attend:
 ¡Ayude a crear la visión! 2 opciones para asistir: Hai lựa chọn để tham dự: 两种参与方式:

What:	Qué:	Điều Gì:	活动内容:
VIRTUAL TOWN HALL Saturday, October 10 10-11 a.m. AND Wednesday, October 14 6-7 p.m.	AYUNTAMIENTO VIRTUAL Sábado 10 de Octubre 10-11 a.m. Y Miércoles 14 de Octubre 6-7 p.m.	Tòa thị chính ảo Thứ năm ngày 10 tháng 10 10-11 giờ sáng và Thứ bảy ngày 14 tháng 10 6-7 giờ tối	公园和娱乐线上市政厅 周六, 10月10日 早上 10-11点 & 周三, 10月14日 晚上 6-7点

Register at: | Regístrese en: | Đăng ký tại: | 注册地点:

10/10 https://apm.activecommunities.com/milpitasrec/Activity_Search/55776

10/14 https://apm.activecommunities.com/milpitasrec/Activity_Search/55777







If you can't join us - take our survey at the link below!
 Si no puede asistir, responda a nuestra encuesta en el link a continuación:
 Nếu bạn không thể tham gia với chúng tôi - hãy tham gia cuộc khảo sát của chúng tôi tại liên kết bên dưới!
 如果您未能参与此次活动, 您也可通过下方链接填写问卷调查:

www.milpitasparksrecreationmasterplan.org



MILPITAS PARKS + RECREATION MASTER PLAN

Join us for a
VIRTUAL TOWN HALL
Help create the vision for the Milpitas park and recreation system!
2 Options to Attend:

Saturday, October 10
10 - 11 a.m. ☀️

Wednesday, October 14
6 - 7 p.m. 🌙

Registration links are in the description!

If you can't join us - take our survey at the link below!
www.milpitasparksrecreationmasterplan.org








APPENDIX: COMMUNITY OUTREACH

VIRTUAL TOWN HALLS

OCT. 10 & 14, 2020 | ZOOM

PURPOSE OF MEETINGS

The project team held two virtual town hall meetings via Zoom that were open to the community. Conducted in a webinar style, the interactive meeting included polling questions where participants could submit answers in real time. The meeting sought to increase awareness and understanding of the Master Plan process, collect input on current barriers to using the parks and participating in recreational programming, and identify community needs and desires in relation to City-owned parks and programming.

VIRTUAL TOWN HALL MEETING SLIDES (OCT. 14, 2020)



VIRTUAL TOWN HALL MEETING SLIDES (OCT. 14, 2020)

INTRODUCTIONS

— The Master Plan Team

- Milpitas City Staff
- Gates + Associates
- Matrix Consulting Group



MILPITAS
RECREATION
AND COMMUNITY SERVICES



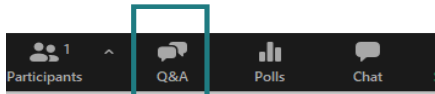
GATES
+ ASSOCIATES
LANDSCAPE ARCHITECTURE

matrix#
consulting group



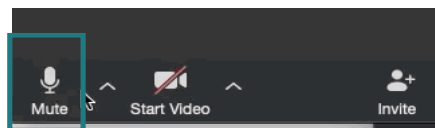
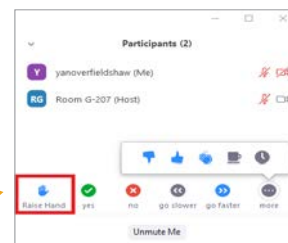
ZOOM PROTOCOLS

— Best Practices



Please utilize the Q&A window to ask questions while others are talking!

Raise your hand
if you have a
comment or
question!



Mute yourself when not talking



VIRTUAL TOWN HALL MEETING SLIDES (OCT. 14, 2020)

MEETING OVERVIEW

— Purpose:

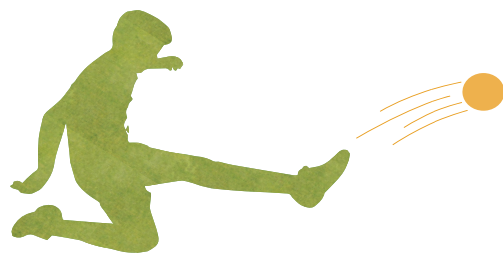
- » Review efforts to date on Parks & Recreation Master Plan Update
- » Gather community input



PARKS & RECREATION MASTER PLAN UPDATE

— Purpose of this Project

Create a **ROAD MAP** to guide **FUTURE IMPROVEMENTS** to existing parks, planned parks and programs



VIRTUAL TOWN HALL MEETING SLIDES (OCT. 14, 2020)

POLLING

Question 1:

How many people are participating with you on this Zoom call?

- ☐ Just me
- ☐ 1 other person
- ☐ 2 or more



2008 PARKS & RECREATION MASTER PLAN

Park Improvements

26 million dollars in improvements:

- » New synthetic fields, pool rehab, and upgraded locker rooms at the **Milpitas Sports Center**
- » New Skate Park, Restrooms and Concession Building
- » The new **Creighton Park** re-design
- » **Sandalwood Park** re-design
- » Higuera Adobe Park and Building re-design & retrofit
- » Major improvements to Alviso Adobe, Pinewood, Cardoza, and Calle Oriente Parks



VIRTUAL TOWN HALL MEETING SLIDES (OCT. 14, 2020)

PLANNING CONTEXT

— Milpitas General Plan

City of Milpitas GENERAL PLAN



Adopted: December 1994
Last Amended: April 2015

Park and Recreational Facilities Guiding Principles:

4.a-G-1 Provide a park and recreation system designed to serve the **NEEDS OF ALL RESIDENTS** of the community.

4.a-G-3 Cooperate with other agencies, such as the **County** and **MUSD**, to provide recreational opportunities to residents.



DEMOGRAPHICS

— People

The population has grown 21% since 2010

Milpitas is very diverse:

- 67% Asian
- 16% Caucasian
- 15% Hispanic or Latino

The population of Milpitas is projected to grow to 113,530

	2010	2019
POPULATION	66,790	84,196
AGE:		
Under 19	26%	25%
20-44	38%	37%
45-64	27%	27%
Over 65	9%	11%



VIRTUAL TOWN HALL MEETING SLIDES (OCT. 14, 2020)

PLANNING CONTEXT

— Milpitas General Plan

"EXPERIENCE OVER ACRES"

Table 4-2 Park Standards for New Facilities			
	Urban Parks	Neighborhood Parks	Community Parks
Distribution (acres/1,000 residents)	5 acres with a minimum of 3 acres per 1000 residents for public parks outside of the Midtown and Transit Specific Plan areas. 3.5 acres with a minimum of 2 acres per 1,000 residents for public parks within the Midtown and Transit Specific Plan areas.		
Service Area Radius	1/4 Mile	3/8 Mile	Citywide



POLLING

— Question 2:

How many parks do you think are in the Milpitas Parks & Recreation system?

- ☐ 15
- ☐ 26
- ☐ 36



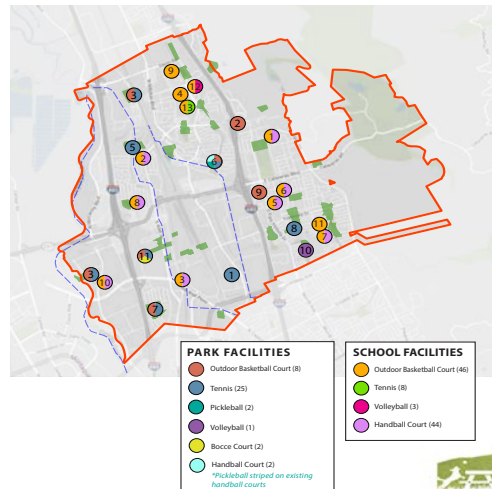
VIRTUAL TOWN HALL MEETING SLIDES (OCT. 14, 2020)

PARKS & RECREATION MASTER PLAN UPDATE

Existing Conditions Assessment

- » 36 parks
- » 6 Facilities

SPORTS COURTS DISTRIBUTION - PARKS AND SCHOOLS



EXISTING CONDITIONS ASSESSMENT



AUGUSTUS RATHBONE PARK
Expedition Ln / Jubilee Dr

Type: Neighborhood Park
Size: 73 acres
Construction Date: _____

PARK OVERVIEW

Augustus Rathbone is a modern, compact neighborhood park. It is well maintained and contains modern play elements and amenities.

The entrance of the park features a large art piece and ornamental planting areas. Shaded picnic areas with accessible seating sit adjacent to a well maintained playground and open lawn.

Modern pedestrian lighting and bollard lights provide safety and security in the evening hours.

The park will soon double in size with the addition of an adjacent lot off of Sango Court. The expansion will feature picnic areas, playgrounds and public art.



EXISTING SITE ASSESSMENT

Site Furnishings

1. **Amenities:** Three metal picnic tables and one ADA table are provided, all are in good condition. Four metal benches are in good condition. One bike rack is in good condition.

2. **Play Equipment:** Play equipment and poured in place surfacing is in good condition.

Accessibility

1. **Pathways:** All concrete pathways are in good conditions with no cracking or heaving. All slopes and ramps are within ADA compliance.

2. **Furnishings:** ADA accessible benches and tables are provided.

Landscaping & Maintenance

1. **Landscape Planting:** Landscape planting is in overall good condition. Much in planted areas is low.

2. **Turf:** Turf is in good condition with some sparse areas.

3. **Irrigation:** This park is on the City's centralized irrigation system using reclaimed water.



VIRTUAL TOWN HALL MEETING SLIDES (OCT. 14, 2020)

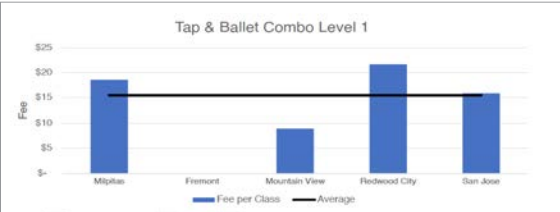
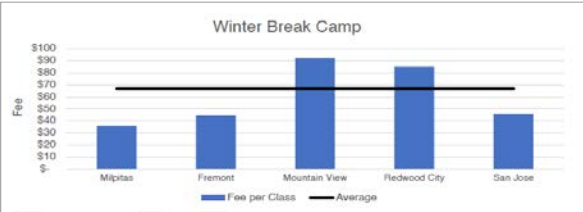
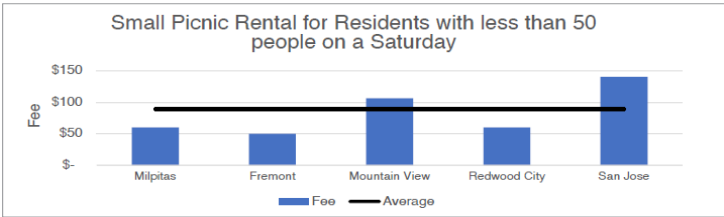
PARKS & RECREATION MASTER PLAN UPDATE

More Than Just Parks

- » Programs
- » Events
- » Community Support Services



PROGRAM FEE ASSESSMENT & COST RECOVERY



VIRTUAL TOWN HALL MEETING SLIDES (OCT. 14, 2020)

POLLING

Question 3:

What types of online programs would you like to see?

- ☐ **Fitness Classes** (yoga, zumba, etc.)
- ☐ **Enrichment Classes** (art history, cooking, guitar, etc.)
- ☐ **Art Classes** (painting, photography, crafts, etc.)
- ☐ **Teen-focused Classes** (coding, web design, academic, sports)
- ☐ **Youth** (virtual kids club, keyboarding, art, academics)
- ☐ **Pre-K Enrichment** (parent/child classes - music, soccer, yoga)
- ☐ **Other**



POLLING

Question 4:

Which class are you most looking forward to attending in person in the future?

- ☐ **Fitness Classes** (yoga, zumba, etc.)
- ☐ **Enrichment Classes** (art history, cooking, guitar, etc.)
- ☐ **Art Classes** (painting, photography, crafts, etc.)
- ☐ **Teen-focused Classes** (coding, web design, academic, sports)
- ☐ **Youth** (virtual kids club, keyboarding, art, academics)
- ☐ **Pre-K Enrichment** (parent/child classes - music, soccer, yoga)
- ☐ **Other**



VIRTUAL TOWN HALL MEETING SLIDES (OCT. 14, 2020)

POLLING

Question 5:

What are your barriers to participating in Milpitas' recreation programs? *(select all that apply)*

- ☐ None - I participate in the programs
- ☐ Cost
- ☐ Lack of time
- ☐ Classes offered at inconvenient times
- ☐ Nothing of interest to me
- ☐ Lack of childcare
- ☐ I don't know what is offered



RECREATION & COMMUNITY SERVICES

City-Sponsored Events

- » **Large, Citywide Events** *(i.e. fireworks)*
- » **Smaller, Focused Events** *(i.e. diversity celebrations like Lunar New Year, LGBTQ+ Pride)*
- » **Holiday Events** *(i.e. tree lighting)*
- » **Cultural Performances** *(i.e. Concerts in the Park, Center Stage)*
- » **Health & Wellness Events** *(i.e. Bike to Work Day)*
- » **Events for Special Interest Groups** *(i.e. car shows)*
- » **Age-Group Specific Events** *(i.e. children/seniors/teens)*
- » **Events that Support Local Businesses** *(i.e. art walk)*

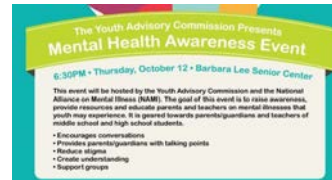


VIRTUAL TOWN HALL MEETING SLIDES (OCT. 14, 2020)

RECREATION & COMMUNITY SERVICES

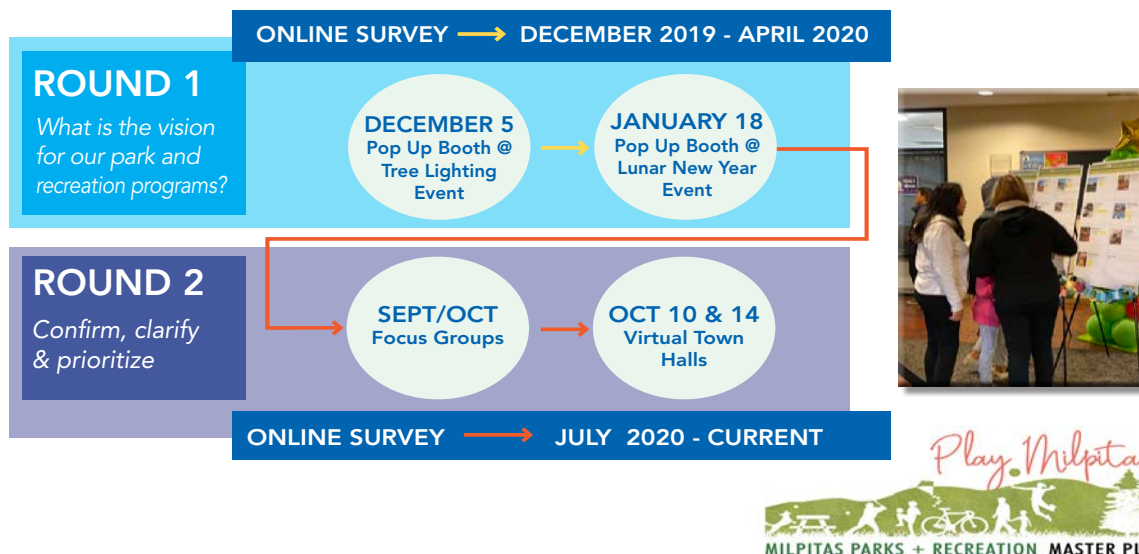
City-Sponsored Social Services

- » Senior Nutrition Program
- » Senior Health Screenings
- » Senior Case Management (*expanding to everyone Oct. 26*)
- » Milpitas Assistance Program (*fee assistance*)
- » Suicide Prevention Resources
- » After School Childcare
- » Youth Job Corps
- » Teen Center (*i.e. art walk*)
- » Volunteer Opportunities
- » Food Resources
- » Senior Services via Partner Groups (*legal, tax, home repair*)
- » Presentations from Service-Providing Community Non-Profits
- » Rent Assistance



COMMUNITY INPUT

Engagement Schedule



VIRTUAL TOWN HALL MEETING SLIDES (OCT. 14, 2020)

COMMUNITY INPUT

Summary: Efforts to Date

- » 700+ PARTICIPANTS
- » (2) Pop-Up Event Booths & Online Survey
- » (3) Focus Groups
- » (2) Virtual Town Hall Meetings
- » English, Spanish, Chinese, Vietnamese



WHAT DO YOU LIKE?

1. Playgrounds
2. Swim Facility
3. Trails/Pathways
4. Sports Fields
5. Open Space
6. Picnic Areas
7. BBQ Areas
8. Tennis / Pickleball

WHAT SHOULD WE ADD?

1. More/updated playgrounds
2. More community events
3. More Indoor Sports
4. Exercise Stations
5. Better Park Lighting
6. Community Gardens
7. Dedicated Teen Space



POLLING

Question 6:

How did you learn about this Town Hall Meeting?

- ☐ From a friend or family
- ☐ Social Media (Facebook, Instagram, Twitter)
- ☐ Master Plan website
- ☐ Email
- ☐ City website



VIRTUAL TOWN HALL MEETING SLIDES (OCT. 14, 2020)

COMMUNITY INPUT

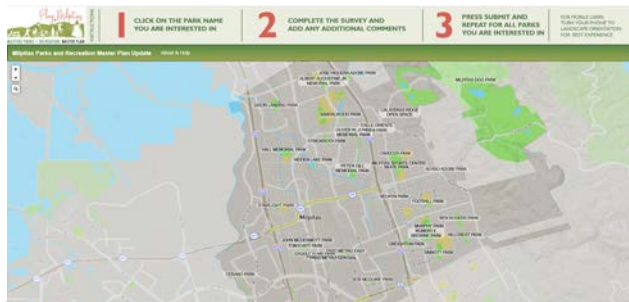
Current Online Engagement Opportunities

- » Online Survey & Interactive Map

<https://wikimapping.com/Milpitas-Parks-and-Recreation-Master-Plan-Update.html>

- » City Council Meeting - Oct. 20

Tell your friends!



COMMUNITY INPUT

Park-Specific Amenities / Trends

PUMP TRACK

MURPHY PARK
GILL MEMORIAL PARK
SINNOTT PARK

FENCED DOG PARK

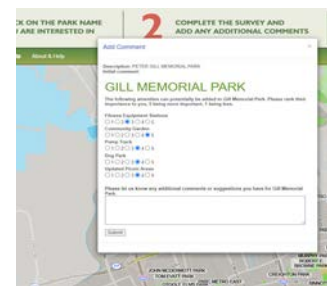
FOOTHILL PARK
MURPHY PARK
AUGUSTINE MEMORIAL PARK

FITNESS EQUIPMENT

MURPHY PARK
GILL MEMORIAL PARK
SINNOTT PARK

COMMUNITY GARDENS

MURPHY PARK
ROGERS PARK
SINNOTT PARK



VIRTUAL TOWN HALL MEETING SLIDES (OCT. 14, 2020)

FOCUS GROUPS

Organized Sports

- » Stronger joint-use with schools
- » Amenities access (parking, storage, restrooms)
- » Expand usability (lighting, synthetic turf)
- » Collaboration (share fields, concessions, batting cages)



FOCUS GROUPS

Teens

- » Informal uses geared to teens (climbing wall, table tennis, swings)
- » Improve Aging, Unattractive Parks (wi-fi, site furniture)
- » Sustainability & Natural Feel
- » Social Activities (food trucks, astronomy nights)
- » Use Conflicts (pathway width, dominant users)
- » Safety Concerns (parents vs. need to socialize)
- » Summer Usage (shade structures, spray elements)



VIRTUAL TOWN HALL MEETING SLIDES (OCT. 14, 2020)

FOCUS GROUPS

— New Residents

- » Opportunities for Neighbor Interaction (exercise stations, planned activities - zumba/ yoga/movies)
- » Reduce Competition for Facilities (scheduled tennis, additional amenities like paddle ball, adult swings, table tennis)
- » Convenience (wi-fi, walkability, restrooms)
- » Rental Space (permit parking, group picnic shelters, building access)



POLLING

— Question 7:

What are your barriers to using Milpitas' parks?
(select all that apply)

- ☐ None - I use parks regularly
- ☐ Lack of time
- ☐ Nothing of interest to me
- ☐ Safety concerns (*social distancing, worn facilities, etc.*)
- ☐ I use other facilities (*private, in other city*)



VIRTUAL TOWN HALL MEETING SLIDES (OCT. 14, 2020)

WE WANT TO HEAR FROM YOU!

QUESTIONS?



<https://milpitasparksrecreationmasterplan.org/>

#playmilpitas

THANK YOU!

Don't forget to
take our online
survey!

SOCIAL SERVICES/INCLUSION FOCUS GROUP - MEETING SUMMARY

OCT. 19, 2020 | ZOOM

PURPOSE OF MEETING

The purpose of this focus group was to discuss how the City of Milpitas can better serve community members who are in one of the following special populations:

• seniors	• people with mental illness
• at-risk teens	• people whose primary language is not English
• people with physical disabilities	• people who are low- or very low-income
• people with developmental disabilities	• people who are experiencing homelessness

Milpitas Social Services Focus Group 10/19/2020

How can the Milpitas Park and Recreation system better serve community members in special populations?

9 participants

What amenities should we consider to make our spaces more welcoming and user friendly to our special populations?

- Lack of amenities tailored to teens, amenities primary for younger children
- All-inclusive playgrounds similar to Miracle Bridge playgrounds
- More/additional signage and community awareness of inclusion
- Quiet pods in new and existing playgrounds

What modifications are needed to make existing recreation programs, like classes and events, more welcoming and user friendly to our special populations?

- Better class/program descriptions
- Better staff training working with special populations
- Early access to teachers to discuss curriculum/user level of programs being offered
- Additional staff specially trained to assist/teach special populations
- Teen center hours outside of business hours
- Partner with local inclusion groups that can help with staffing and training

SOCIAL SERVICES/INCLUSION FOCUS GROUP - MEETING SUMMARY

OCT. 19, 2020 | ZOOM

Are there any specially-targeted programs you would like to see Milpitas consider?

- Coding for at risk teens
- Programs that cater to teens and seniors at the same time – to bridge friendships/socialization
- Teen ambassador training/program
- Support groups 9LGBTQ, at-risk teens, etc.)
- Reading groups for younger children
- Ally training

What are some of the unmet needs of Milpitas' special populations?

- More collaboration between police and special populations
- In class/program support for special populations who are taking the class

Do you have ideas on how Milpitas Rec and Community Services could improve awareness and accessibility among special populations about the parks, recreation and community services resources available?

- More signage, better messaging on websites, in facilities, at events and in parks

SOCIAL SERVICES/INCLUSION FOCUS GROUP PRESENTATION SLIDES (OCT. 19, 2020)

Inclusion & Social Services Focus Group

Monday 10/19/20 6pm - 7pm



Play Milpitas



What Are We Doing Today?

The purpose of this focus group is to discuss how the City of Milpitas can better serve community members who are in one of the following special populations:

- seniors
- at-risk teens
- people with physical disabilities
- people with developmental disabilities
- people with mental illness
- people whose primary language is not English
- people who are low- or very low-income
- people who are experiencing homelessness

AGENDA

1. Introductions
2. Efforts to date
3. Discussion Questions
4. Next Steps



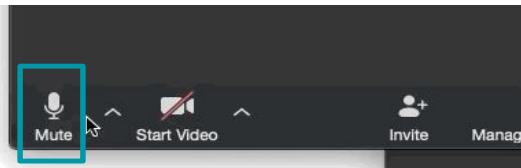
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ZOOM Protocols

Please utilize the chat window to ask questions while others are talking!



Mute yourself when not talking

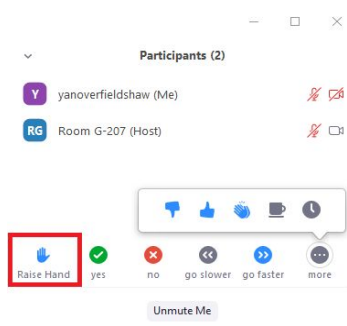


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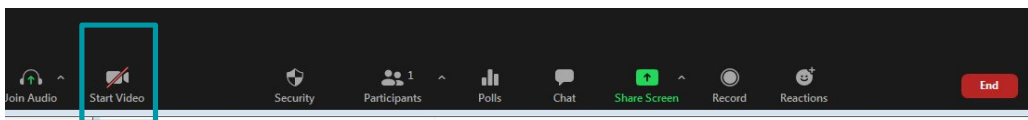


ZOOM Protocols

Raise your hand if you have a comment or question!



We encourage you to turn on your video!



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Who Are We?

- City of Milpitas
- Gates + Associates - Landscape Architects & Planners
 - Linda Gates
 - Melonie O'Sullivan

What is a Parks & Recreation Master Plan?

- Strategic document that studies the existing park & recreation system
- Sets forth a framework for the future



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Introductions

Toni Perrina
Kavita Sreedhar
Corinne Tobias
Ron General
Norma Morales
Celia Huang



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Current Park System



PARKS

- | | |
|----------------------------------|-----------------------------|
| 1 Alviso Adobe Park | 26 Parc Metro East |
| 2 Augustine Memorial Park | 26 Pecot Park |
| 3 Augustus Rathbone Park | 27 Peter Gill Memorial Park |
| 4 Bob McGuire Park | 28 Pinewood Park |
| 5 Ben Rogers Park | 28 Robert E Browne |
| 6 Calaveras Ridge | 30 Sandalwood Park |
| 7 Calle Oriente Mini-Park | 31 Selwyn Park |
| 8 Cardoza Park | 32 Skate Park |
| 9 Cerano Park | 33 Sinnott Oak |
| 10 Creighton Park | 34 Starlite Park |
| 11 Dixon Landing Park | 35 Stickroth Park |
| 12 Foothill Park | 36 Tom Evatt Park |
| 13 Hall Memorial Park | |
| 14 Hidden Lake Park | |
| 15 Hillcrest Park | |
| 16 John McDermott Park | |
| 17 Jose Higuera Adobe Park | |
| 18 McCandless Park | |
| 19 Milpitas Dog Park | |
| 20 Murphy Park | |
| 21 Oliver W. Jones Memorial Park | |
| 22 O'Toole Elms Park | |
| 23 Parc Metro East | |
| 24 Parc Metro Middle | |

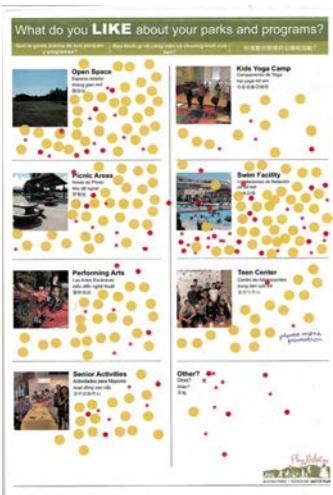
- **Creighton** (open Nov. 2020)
- **McCandless** (open in 2022)



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Efforts to Date - Community Outreach



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APPENDIX: COMMUNITY OUTREACH

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Efforts to Date - Site and Facility Assessments



AUGUSTUS RATHBONE PARK *Expedition Ln/ Jubilee Dr*

Type: Neighborhood Park
Size: 73 acres
Construction Date: -----

PARK OVERVIEW

Augustus Rathbone is a modern, compact neighborhood park. It is well maintained and contains modern play elements and amenities.

The entrance of the park features a large art piece and ornamental planting areas. Shaded picnic areas with accessible seating sit adjacent to a well maintained playground and open lawn.

Modern pedestrian lighting and bollard lights provide safety and security in the evening hours.

The park will soon double in size with the addition of an adjacent lot off of Sango Court. The expansion will feature picnic areas, playgrounds and public art.



EXISTING SITE ASSESSMENT

Site Furnishings

1. **Amenities:** Three metal picnic tables and one ADA table are provided, all are in good condition. Four metal benches are in good condition. One bike rack is in good condition.



2. **Play Equipment:** Play equipment and poured in place surfacing is in good condition.

Accessibility

1. **Pathways:** All concrete pathways are in good conditions with no cracking or heaving. All slopes and ramps are within ADA compliance.



2. **Furnishings:** ADA accessible benches and tables are provided.

Landscaping & Maintenance

1. **Landscape Planting:** Landscape planting is in overall good condition. Mulch in planted areas is low.



2. **Turf:** Turf is in good condition with some sparse areas.

3. **Irrigation:** This park is on the City's centralized irrigation system using reclaimed water.



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Efforts to Date - Benchmarking

	MILPITAS	CUPERTINO	DUBLIN	MOUNTAIN VIEW	REDWOOD CITY
ACTIVE USE PARKS					
Number of Parks	39	23	27	30	38
Acres developed parkland	173	186	187	118	185
Acres per 1000 residents	2.1	3.1	2.8	1.4	2.1
Residents per park	2,158	2,589	2,434	2,742	2,283
INCLUDING SCHOOL SITES					
Acres	198	410	230.6	202.8	229.2
Acres per 1000 residents	2.4	6.9	3.5	2.5	2.6
REGIONAL PARKS/ OPEN SPACE					
Acres	1,558	5,962	780	797	467

Table X-X Parks and Open Space

	MILPITAS		CUPERTINO		DUBLIN		MOUNTAIN VIEW		REDWOOD CITY	
	Total	Residents per court	Total	Residents per court	Total	Residents per court	Total	Residents per court	Total	Residents per court
SPORTS COURTS										
Outdoor Basketball Court	8	10,525	6	9,879	13	4,987	8	10,342	4	21,481
Tennis/Pickleball	25	3,368	28	2,117	12	4,940	25	3,310	7	12,275
Volleyball	1	84,196	0	-	5	12,965	1	82,739	0	-
Bocce Court	2	42,098	2	29,638	2	32,413	2	41,370	2	42,963
Handball Court	2	42,098	0	-	1	64,826	2	41,370	2	42,963

Table X-X Sports Courts

	MILPITAS		CUPERTINO		DUBLIN		MOUNTAIN VIEW		REDWOOD CITY	
	Total	Residents per field	Total	Residents per field	Total	Residents per field	Total	Residents per field	Total	Residents per field
SPORTS FIELDS										
Football Field	1	84,196	0	-	0	-	2	41,370	0	-
Soccer Field	4	21,049	6	9,879	16	4,052	16	5,171	5	17,185
Diamond Field (Baseball/Softball)	11	7,854	7	8,507	16	4,052	17	4,867	5	17,185
Cricket Pitch	1	84,196	1	59,276	1	64,826	0	-	0	-
SPORTS FIELDS TOTALS										
Total Sports Fields	17		14		33		35		10	
Fields Per 10,000	2.0		2.4		5.0		4.3		1.2	

Table X-X Sports Fields



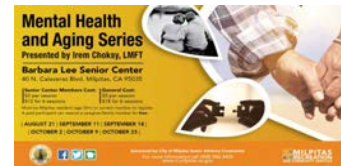
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SOCIAL SERVICES/INCLUSION FOCUS GROUP PRESENTATION SLIDES (OCT. 19, 2020)

City-Sponsored Social Services

- Senior Nutrition Program
- Senior Health Screenings
- Senior Case Management
(expanding to everyone Oct. 26)
- Milpitas Assistance
Program (fee assistance)
- Suicide Prevention
Resources
- After School Childcare
- Youth Job Corps
- Teen Center
- Volunteer Opportunities
- Food Resources
- Senior Services via Partner
Groups (legal, tax, home repair)
- Presentations from
Service-Providing Community
Non-Profits
- Rent Assistance



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Discussion Questions

As we think about Parks and Facilities improvements, what **amenities** should we consider to make our spaces more welcoming and user-friendly to our special populations?



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SOCIAL SERVICES/INCLUSION FOCUS GROUP PRESENTATION SLIDES (OCT. 19, 2020)

Discussion Questions

What **modifications** are needed to make Milpitas' existing recreation programs, like classes and events, more welcoming and user-friendly to our special populations?



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Discussion Questions

Some cities have added programs and events that are specifically designed to meet the needs of special populations, such as:

- A recreation program for developmentally disabled adults
- A dance or sports class for those with physical disabilities
- Classes taught in other languages for those whose primary language is not English



Are there any **specially-targeted programs** you would like Milpitas to consider?



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SOCIAL SERVICES/INCLUSION FOCUS GROUP PRESENTATION SLIDES (OCT. 19, 2020)

Discussion Questions

Recreation departments are increasingly offering Community Services to address health and well-being of special populations, access inequity due to poverty and homelessness, language barriers, racial, sexual orientation and other issues.

What are some of the unmet needs of Milpitas' special populations?

(These could be either needs that the City should directly address or needs that could be addressed through partnerships with other agencies)



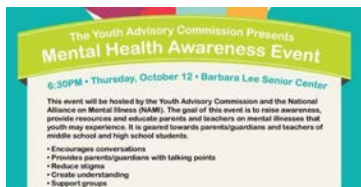
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Discussion Questions

One of the biggest challenges in serving special populations is outreach to groups that have traditionally been underserved by Parks and Recreation programs.

Do you have ideas on how Milpitas Recreation and Community Services could improve awareness and accessibility among special populations about the parks, recreation & community services resources available?



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APPENDIX: COMMUNITY OUTREACH

SOCIAL SERVICES/INCLUSION FOCUS GROUP PRESENTATION SLIDES (OCT. 19, 2020)

Next Steps

NEXT! Please take the online survey and tell us about the parks nearest you!

<https://wikimapping.com/Milpitas-Parks-and-Recreation-Master-Plan-Update.html>

UPCOMING! City Council Meeting tomorrow on **Oct 20th**. Tell your friends and family!

Check the Master Plan website for updates:

<https://milpitasparksrecreationmasterplan.org/>

Additional comments or questions?

Email us - melonie@dgates.com



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ROUND 2 ONLINE SURVEY QUESTIONS & RESPONSES

(AS OF DEC. 15, 2020)

1. The Milpitas community has identified new and updated playgrounds as a high priority. The city currently has 29 playgrounds. How would you prioritize which playgrounds get improved first? Please rank the importance of the following criteria, 5 being most important, 1 being least important.

	5	4	3	2	1
Replace equipment in poor condition	187	80	35	7	7
Address accessibility and safety concerns	178	75	39	15	8
Serve neighborhoods with limited access to parks	96	92	78	25	16
Serve neighborhoods with high concentration of children	128	99	65	12	8
Increase capacity to accommodate a range of abilities	123	86	71	14	17
Increase variety of play experience	141	74	58	20	19
New and updated playgrounds are new and updated playgrounds are not a priority for me	0	0	0	0	0
	853	506	346	93	75

indicates low priority

Write-in Comments

Serve neighborhoods with older generation population too
bring in new sports to address needs of diverse communities
Ground with cricket pitch. As no grounds are made for cricket game with so much population deprived to play the sport.
Add cricket pitch to the Sports Center
Cricket
Cricket playground is a must requirement.
Add Cricket Pitch to the sports center
Need cricket pitch at sports center
Cricket please
With Covid going on right now, I would say do not prioritize playgrounds right now as people would still be scared to touch things in public and even after finding a cure. The only main improvement I would like to see around playgrounds is to improve on the lighting as sunsets at 4:50pm in the fall/winter. This will help ensure safety to families who go to the park after work hours.
Fix the poor condition roads and children play area. Hillcrest Park's child play area needs to be modernized with a new slides and rubber floors. The roads inside the park needs to be fixed too.
see saws are awesome!!!!!!
Milpitas should also focus on connection the major parks and the Milpitas areas together in one continuous walking and biking riding trails that eventually connect along the back to the adjacent cities. This is such a vital long-term benefit to milpitas.
I wish the city can put some outdoor exercise equipment in the park and playground. Those outdoor exercise equipment are very popular in China and can be used for wide range of ages.
We need better sports fields too at the schools.
More toys for toddlers to play on. Kiddie swings in every park.
There is park planned and approved for mccandless drive. Its not completed even after 3 years approval. Its so bad that even construction not started till date.
please paint lines for pickleball courts, it's the #1 growing sport in the country. we would love to play outdoors on 'real' courts!
Safety - I see people walking in Milpitas parks without mask - in crowds gathering and doing potluck. Is there a way to enforce safety ?
Jose Higuera Adobe Park is the only one we use.
Starlite park cross the street of Anthony Spangler elementary , its playground is a poor condition, needs to be replaced or deep fix!Thanks
I'm a grandmother and have watched kids pay at Sinnott park a lot.
I am more interested in connecting as many of the parks as possible via safely bikable and walkable trails.
Improve shade and water access at parks, as this is a safety issue during summer months.
I would like a cricket field in Milpitas
Reduce usage of park parking lot by near by residence on daily bases
All of these statements are priorities!!
Just maintaining what we have is also crucial.
We go to Cardoza park, often there is too much litter. Sadly people are slob but it should be monitored better.
You closed the parks because of COVID-19 and despite them being one of the least unsafe activities for children. Maybe reconsider the decision?
More tennis courts. They are always taken up by adults. Need to limit times or have sign up sheet.
Can't relate to playgrounds, I don't use it or see enough to comment about cardoza park has a nice playground and I see it being used. The random walks past selwyn park makes me think the kids doesnt really use the facility. Maybe selwyn can be changed/updated facility?
Recently I talked to the installers of the new playground equipment in Ben Rodgers Park. They told me it was probably the cheapest playground structure in the world, and they should know since they install these things all over the place. It replaced equipment of equally poor play value for a wide variety of children. Only children about the size of 3 year olds can get through the slot for BOTH slides. No adult could get through to accompany a tinier child. Nor could a child of elementary school age get through either. So, I know the City still went to considerable expense to install this crap. Will they be willing to replace it if we ask in this survey? Why did they not pay any attention to the last survey?
McCandles Park should be a high priority given the high volume of new residents with no where to go for a local park
We need a dog park or two now that the Human Society closed their dog parks...please! I miss the dog park!
I see that Oliver Jones Park is a newer Park and has been well maintained and has been remodeled. Meanwhile, Strickroth Park hasn't been touched in many many years. Would be nice to have a park with rubber flooring and no sand. Thank you for this opportunity to voice this.
Safety and fun is paramount for parks. Kids playgrounds need to be progressive and with best equipment possible: For example: <https://www.surfaceamerica.com/playground-surfacing/>
There must be intermittent plans for repair and renovation

ROUND 2 ONLINE SURVEY QUESTIONS & RESPONSES

(AS OF DEC. 15, 2020)

QUESTION 1 WRITE-IN COMMENTS CONT.

Insulation of pickle ball courts
Finish the parks that are being worked on before thinking about starting new parks!
Improve and revamp parks with baseball softball fields even if it's for recreational such as the small field at Strickroth. The field can also be used for soccer area. This park also can use seating near the playgrounds.
What is most important to me is that the girl's Softball has a perm. home.
I'm sorry I simply put a 'S' for everything, but this is how I feel about Milpitas' playgrounds. I think majority of them are old and outdated. They need to be updated for safety concerns, play experience, and properly "sized" for the concentration of children in the area.
Even the newer playgrounds in the city I feel are too small and don't offer a great play experience. Bob McGuire park is a good example. New playground, but extremely small for the amount of children in the area.
Add a cricket pitch to the sports center
dog park!
None
More dog parks.
Need more tennis courts- the ones in Browne Park are always packed. And more bike paths is always good.
New parks near los coches st
I would prefer you just remove all the playground equipment.
Fishing please
We already have parks all over town, some are run down or lacking in amenities. New parks are not a priority. With our budget deficit, if we are going to make improvements, let's improve existing parks before developing new parks.
Have more trash and recycling bins laying about. Just having more prevents people from littering! So much trash in some areas.
Add handwashing stations for the most busy parks
I am not a citizen with a child so I can't speak to the fullness of the question but I am for fewer playgrounds and more space that can be used by all people (basketball courts, soccer, etc).
Please update Gill Park playground! Same from when I was a kid.
Let's think of park design that will persevere for the future 20 years. Public WiFi, Water elements that are within drought guidelines.
More seating areas, oftentimes the kids want to play for extended times, and it feels like benches are sparse. Maybe some concrete Adirondack chairs styles, innovative and affordable.
Let's consider hiring an ideation firm, we have the worlds best in the Bay Area.
Parking and access to clean public restrooms would be nice.
Do not replace playgrounds if they are not in poor condition or pose safety concerns. Instead devote funds that would have gone to those parks to other parks that need more support. I live near Ben Rogers park (a great park btw) and see that a perfectly good playground was replaced with smaller equivalents. This seems to me to be a waste of funds that could've gone to better causes. Also, I see that the sand base was replaced by tan bark which causes splinters. Its not clear to my why this replacement was made.
Murphy Park is in need of an upgrade/update.
I had this survey almost complete and it shut down :(
1 - replace dangerous equip
2 - upgrade areas with high concentration of children
3 - Range of abilities would be nice so a toddler and a 12 yr old both have things to do
4 - Play experience...kids are inventive and do not need the play experience most adults think they do - watch what they do with a large cardboard box!
We would love to have interactive game play and art work to engage kids. Like the kind of interactive games that are there in Children's discovery museum, it would be great to have something similar in an outdoor setting

ROUND 2 ONLINE SURVEY QUESTIONS & RESPONSES

(AS OF DEC. 15, 2020)

2. The community has identified community events as a high priority. What types of events are most important? Please rank the importance of the following criteria, 5 being most important, 1 being least important.

	5	4	3	2	1
Large City-wide event (i.e. Fourth of July Fireworks)	111	72	57	23	44
Family focused events (i.e. Pumpkins in the Park, Family Game Night)	107	86	74	18	25
Events that celebrate diversity (i.e. Lunar New Year, LGBTQ+ LGBTQ+ Pride)	65	74	89	33	40
Holiday Events (i.e. Tree Lighting)	90	104	68	22	19
Performances (i.e. Community Theater, Concert Band Community Theatre, Concert Band)	68	95	90	24	28
Health and Wellness Events (i.e. Bike to Work Day, 5K Run or Walk)	87	96	81	21	24
Events for special interest groups (i.e. car shows)	30	12	17	5	7
Events that generate revenue for the City (i.e. sponsor)	72	93	89	33	18
Events that support local businesses (i.e. art walk)	116	95	62	19	16
Community Events are not a priority for me	0	0	0	0	0
	746	727	627	198	221

indicates low priority

Write-in Comments

City government awareness programs (like fire dept, police, security, environment, etc)

Movies in Park, Family Campout in Park, Arts & Culture Festival

Cricket play ground.

Family focused events and local small businesses should be the main priority. With family focused events, I believe it would be nice to see your neighbors at a local event and get to know other locals. I really do enjoy Music at the Park and Movie night a lot.

One thing I wanted to say about Health and Wellness events is that we should increase making green biking lanes around the city FIRST so it would encourage locals to bike. An ideal spot, in case if it isn't planned already, should be South Park Victoria Drive in between Yosemite and Yellowstone. It's not a LONG road but it is heavily used by residents. When they see the green lanes, they would be more inclined to bike. Also, it is next to Murphy park so it would better connect it.

We also need planting more trees. It not only beautifies parks and streets, it provides plenty of shady areas we really need in the hot summer. Right now, our parks and streets are too hot, hardly seeing any shade. If you go to a park like Cuesta park in Mountain View, you will see what I mean.

Bring back the Firecracker 10k race.

pbqs and liv concerts

Bring back the lifesize Candyland game the city used to sponsor.

Egg hunts in park, halloween parade etc.,

cricket ground

Events should focus on supporting local businesses and city/govt entities (e.g. Milpitas library, hospital, etc)

I like the fireworks, pumpkins in park, car show. There was like a faire by the cisco buildings a couple of years back too, it had food trucks, milpitas historical society, the cars, the earthquake simulation vehicle. That one was cool!

Not seeing anything that would particularly interest me as a senior.

Given COVID getting people together would increase exposure. I don't recommend adding events until a cure is widespread.

Large City events-- somehow limit to residents only... City Fireworks is busy event with people from neighboring towns come & no space is left for the resident..

Keep designated softball fields for girls' sports. Gill, Cardoza, and Dixon parks.

None

Community events are not an appropriate activity for government.

While not necessary to go overboard, make these events like potluck. People should be allowed to bring things, or at least be able to chip in. Also, take ideas of events from the people. There are some good ideas people may have that can be cost-efficient and still fun.

While these are my opinions, I think anything that brings the community together is key. Community Events ought to be community focused and thus there is a certain level to which the majority ought to have greater say instead of trying to please everyone.

This may be hard to build momentum, once it does I have seen it transform the community vibe. Consider some at great mall,

As one of the commissioners on the Energy & Environmental Sustainability Commission, I see parks as a fundamental building-block in our aim to reach a more sustainable Milpitas. If we emphasize our parks correctly, they could become a draw for neighborhoods to continue to work from home and visit the parks for outdoor breaks. Provide more places for folks to sit and tables to eat lunch from. Allow Food Trucks to service the parks and perhaps even act as a local hub for meals for the neighborhood for breakfast or lunch. Another option is to approach our local markets and see if they'd be interested in providing a grocery truck. Let's give our neighbors no reason to get into their cars and enjoy the parks instead.

Milpitas does not have an area large enough for a safe city wide event..

It would be great to have an open air stage so we could have performances outdoor, summer or winter. Especially during Covid, this would have been a great opportunity to have outdoor movie nights. Money charged during movie night can help the city as well.

Definitely a great idea to have art walk and food truck events, which can help local businesses and Milpitas City.

ROUND 2 ONLINE SURVEY QUESTIONS & RESPONSES

(AS OF DEC. 15, 2020)

1	Dedicated Yoga Studio	177
2	Basketball	166
3	Badminton	151
4	Ping Pong, Table Tennis	145
5	Climbing	136
6	Indoor Soccer, Futsal	129
7	Martial Arts (including lion and dragon dance)	101
8	eSports (organized multiplayer video game competitions)	70
9	Pickleball	42

Write-in Comments
Cricket
Cricket
Cricket indoor and outdoor
Cricket should be another choice
Cricket
Cricket
Cricket
Cricket
Cricket
Cricket
bring in new sports to address needs of diverse communities like cricket.
Cricket
Cricket
Cricket
Cricket
Add cricket pitch to the Sports Center
Cricket
Cricket
Cricket
Cricket
Cricket
Cricket
Cricket
Cricket
Basketball is a high priority for me. If you can somehow install rock climbing around here then I think it would be popular as well.
Gun range, archery, arcades
Looking forward for sports center to safely reopening soon.
Will you offer yoga/aerobics via video conferencing - we may be in pandemic for a while.I found sports center instructor Aria's video, thank you! And will you update at least once a week for a variation of the exercise?
Volleyball
It's not safe at all due to pandemic
Badminton currently doesn't exists anywhere. Please make it high priority
The highest priority is to maintain the Milpitas Sports Center.
Tennis
cricket
Tai Chi classes
weight training and cardio
Indoor sports are cool but should be free for residents.
Esports events sound fun. You should stream it online if you do host it, like in Twitch. The other sportstuff I can't really relate to due to how infrequent I use the sports center facilities. I sed to swim when I had time, but not anymore.
Silver Sneakers
Given COVID, this is not a priority in 2020 until a cure is in place
Volleyball
Indoor archery range
Might even be good for city to consider having an indoor location for other sports that are traditionally played outdoors (I.e. Football, Baseball, Softball); one indoor shared facility that could be used by these groups during acclimate weather.
Weight lifting, boxing/MMA
Volleyball
Softball baseball
Volleyball
sporting venues are not something government should be involved with
No indoor sports during COVID-19; let's relook at indoor sports after the pandemic has passed through the country (because residents of other counties/states live, work, play and visit in Milpitas, too).
Taiko
We need fields that kids will actually do, half that list makes no sense! Why would the city waste money on Pickleball?!
I dont have good ideas, others may suggest great ideas ,
handball
I have been using the privately run badminton courts in Milpitas for many years now. It would be nice if the city could provide access to that.
No sport other the basketball is popular enough to warrant an INDOOR facility. Maybe 2 large gyms that can be rented. one geared adults and on to kids
SINCE NO COMMENT IS AVAILABLE FOR A PUMP TRACK...NO NO NO IT CANNOT BE CONTROLLED. THERE WILL BE SKATE BOARDERS AND TROUBLE CAUSING OUTSIDERS...REMEMBER THE SKATE PARK?

ROUND 2 ONLINE SURVEY QUESTIONS & RESPONSES

(AS OF DEC. 15, 2020)

4. The community has identified a desire for a pump track. A pump track is a circuit of rollers, banked turns and features designed to be ridden completely by riders "pumping"—generating momentum by up and down body movements, instead of pedaling or pushing and can be ridden by people of all ages. The following park sites are potentially suitable for a new pump track. Please select your top 3 preferred locations.

1	Murphy Park
2	Peter Gill
3	Starlite
4	Sinnot
5	Foothill

5. The community has identified a desire for a fenced dog park. The following park sites are potentially suitable for a new dog park. Please select your top 3 preferred locations.

1	Murphy
2	Peter Gill
3	Albert Augustine
4	Foothill
5	Sinnot

6. The community has identified a desire for community gardens. Community gardens include multiple raised planters that can grow herbs, flowers, or veggies and fruits, and are tended to by the community. The following park sites are potentially suitable for a new community garden. Please select your top 3 preferred locations.

1	Murphy
2	Sinnot
3	Gill
4	Rogers
5	Jones

ROUND 2 ONLINE SURVEY QUESTIONS & RESPONSES

(AS OF DEC. 15, 2020)

7. The community has identified a desire for fitness equipment. These can be a series of several, single-activity stations throughout a park or a grouping of several pieces of equipment in one location. The following park sites are potentially suitable for new fitness equipment. Please select your top 5 preferred locations.

1	Murphy
2	Sinnot
3	Gill
4	Rogers
5	Jones

8. The City of Milpitas offers a wide range of programs through the Recreation and Community Services department. In order to keep up with demand, are there any programs types that you would like to see offered? Select all that apply.

1	More adult fitness (i.e. Zumba, yoga)	217
2	More adult enrichment classes (i.e. chess, guitar)	140
2	More youth enrichment (i.e. tutoring, music)	140
3	More teen enrichment (i.e. tutoring, music)	119
4	More teen sports (i.e. skateboarding)	115
5	More teen dance (i.e. hip hop, swing)	91
5	More senior dance (i.e. line-dancing)	91
6	More youth dance (i.e. tap, ballet)	90
6	More youth day trips	90
7	More adult dance (i.e. belly dancing)	88
8	More teen day trips	78
9	More senior day trips	70
10	More senior dance (i.e. line-dancing)	59

Write-in Comments
Cricket
Add Cricket as sport
More cricket training
Lunchtime pilates. Lunchtime sketching. Lunchtime drop-in conversational language program (Spanish practice).
Cricket
Add cricket pitch to the Sports Center
Cricket
My mom (69) is actually a part of the Milpitas zumba.
Don't care for bridge, enjoyed the paint nite you had offered in the past. If you can reduce the cost, more will participate.

ROUND 2 ONLINE SURVEY QUESTIONS & RESPONSES

(AS OF DEC. 15, 2020)

8. The City of Milpitas offers a wide range of programs through the Recreation and Community Services department. In order to keep up with demand, are there any programs types that you would like to see offered? Select all that apply.

Write-in Comments Cont.

I would really like an indoor site for hobbies, to include laser cutters, 3d printers, and wood working tools, including table saw, miter saw and wood lathe. A textiles area including industrial sewing machines, a serger, and even a quilting machine.

More swim days & times...

Track dedicated for walking and jogging

Classes at the community center for kids milpitas, are only printed on flyers and can be seen online ! There is none of the in real life !

I sent an email in the beginning of this year 2020 , to marketing dept. to address this issue after I tried to enroll my 7yrs. Old son asking for several ones , there were non active because of low enrollment!

It would be great .. if there is actual activate classes .

Theater Arts Programs

more teen cricket

Watercolor and drawing classes

Further engagement of the society will be beneficial, especially with times such as these where social distancing and business closures are forcing people to stay in their homes.

Balance and flexibility

Silver Sneakers (Not just chair exercises. Some walking and standing, balance routines, too.)

Given COVID, this is not a priority in 2020 until a cure is in place

More senior stuff later in the day or weekend

R&B line dancing (rhythm and blues)

Add cricket pitch.

Senior guided monthly 4 mile hikes on local trails.

None

Girls Softball .

Skatepark open soon please! My scooter kid is ready!

City government need not provide these kinds of services.

More youth fitness, more youth sports (winter sports), more weekend programs (adults and youth) to support working adults/parents, more adult sports (winter sports)

Youth basketball

Literally a center that contains much of these would be amazing for the entire county. When somewhere big enough goes for lease, instead of putting a market that caters to only one demographic or a shop that no one actually needs, put one of these there. Life here would be much better with literally just this center and nothing else if no other options could be made reality.

Please open the parks for outdoor fitness classes, following CDC and County regulations of course.

Roller skating

The girls of Milpitas need softball fields! The boys continue to get treated like kings and the girls like peasants! This needs to change and it's sad that the city doesn't see it. It's ridiculous!

WE HAVE A WONDERFUL SENIOR CENTER WITH DAY TRIPS AND MANY OF THE ABOVE PROGRAMS PLEASE, PLEASE DO NOT CLOSE THE SENIOR CENTER!

APPENDIX: COMMUNITY OUTREACH

ROUND 2 ONLINE SURVEY QUESTIONS & RESPONSES

(AS OF DEC. 15, 2020)

9. Programs and classes are offered at various times and both during the week and on the weekends. Is there a day or time you would like to see more programs and or classes offered? Select all that apply.

1	More weekend classes (Saturday and Sunday)	224
2	More evening classes (after 6pm)	202
3	More lunch-time classes (noon-1pm)	49

Write-in Comments
Please continue to offer weekend swim classes. I know this was the first year this was offered and would really help single parents solve weekdays are so hectic already after school.
Would be great to see kids classes in the evening so kids with working parents can still attend. During the day or afternoon is very hard for parents who work 9-5 jobs. B
Senior Center opens on weekday only, and only til 4:30pm. Age 50-64 are most likely still working, cannot participate weekday activities at Senior Center. Please consider opening evening or weekend.
Please let them be rolling not only on the flyers!
More morning classes (8am - noon)
If work-life balance returns weekend and evening would likely be best however in today's situation weekday classes may work.
Given COVID, this is not a priority until a cure is in place
The growth of Milpitas currently exceeds anything offered
Programs and classes are a waste of taxpayer funds. I would prefer these funds go to first responders to provide for the health and safety of the community.
More early morning classes before 10 am
If a class is being offered on Sunday, please also offer a similar class on a weekday or Saturday so those who cannot attend classes on Sunday(due to religious beliefs or otherwise) can still take that class.
CAN'T YOU WORK IN TANDOM WITH MILPITAS ADULT ED?????
I don't usually participate in programs. However, programs after 4 PM and on weekends are better because students and parents alike are more available at those times.
We need indoor tennis courts and indoor heated swimming pools

10. During Shelter-in-Place, Milpitas Recreation and Community Services has been offering some of its fee-based programs online. Please rate your willingness to participate on future online programs.

Yes, I will participate in fee-based online programs	48
Maybe – I might participate in fee-based online programs	0
No – I will not participate in fee-based online programs	0

1ST	2ND	3RD

ROUND 2 ONLINE SURVEY QUESTIONS & RESPONSES

(AS OF DEC. 15, 2020)

11. Milpitas Recreation and Community Services is interested in continuing to offer fee-based programs online. If the fee for the online program was less than the standard in-person program fee, would you participate?

1	Yes, I would participate in an online program for a lesser fee	86
2	Maybe – I might participate in an online program for a lesser fee	0
3	No – I will not participate in an online program for a lesser fee	0

12. What type of fee-based online programs would you be interested in participating in? Select all that apply.

1	Adult fitness (i.e. Zumba, yoga)	145
2	Adult enrichment classes (i.e. chess, guitar)	108
3	Youth enrichment (i.e. tutoring, music)	87
4	Senior Fitness	67
5	Adult dance (i.e. belly dancing)	52
6	Youth Dance	49
7	Teen Dance	43

ROUND 2 ONLINE INTERACTIVE MAP SURVEY (RESULTS & WRITE-IN COMMENTS AS OF DEC. 15, 2020)

ALVISO ADOBE PARK

Write-in Comments:

Work out an arrangement for parking nearby.
The city did a great job updating this park - the children's play area is wonderful. The picnic areas are good too. No changes, it's one of the nicest parks in Milpitas.

AUGUSTINE MEMORIAL PARK

Priority Ranking for Improvements:

	Fitness Equipment	Dog Park	Community Event Space	Updated Picnic Areas
				5
	4	3	5	3
	3	3	4	5
	5	4	5	5
	3	5	3	5
	3	4	5	5
	5	1	3	5
	5			5
	5	1	4	5
	2	3	4	5
	5		4	3
	5	2	5	5
	5	3	4	5
	4	4	5	5
	3	1	4	5
	1	1	1	5
	5		5	5
	1	4	3	4
	5	1		5
	3	2	5	1
	1	1	4	4
Combined Rankings	73	43	73	95
Total # Votes	20	17	18	20
Average Score	3.65	2.529411765	4.055555556	4.75
Rank	3	4	2	1

Write-in Comments:

Update Bathrooms! they are absolutely horrible
Thank you for thinking of me and asking our thoughts. Here is a list of some ideas we brainstormed to do around Milpitas parks:

1) Movie at the park - show movies on a screen in the outdoors - good for spring/ summer; enjoy popcorn

ROUND 2 ONLINE INTERACTIVE MAP SURVEY

(RESULTS & WRITE-IN COMMENTS AS OF DEC. 15, 2020)

BEN RODGERS PARK

Priority Ranking for Improvements:

Fitness Equipment Stations	Dog Park	Community Garden	Updated Practice Baseball Field	Updated Picnic Areas
1	5	5	1	5
4		3	2	4
5	3	3	4	5
3	5	1	3	5
5	1	5	5	5
4	2	3	4	3
5				5
3	2	2	4	5
4	2	2	1	5
5	3	5	5	5
5	2	5	5	5
1	1	3	3	5
5	2	5	5	5
4	2	3	5	4
2	1	2	3	4
5	5	5	1	4
3	4	4	5	5
			5	3
2	5	2	2	2
1	1	1	5	5
1	3	1	3	2
4	1	5	5	5
3	2	5	4	5
5			5	5
4	4	5	4	5
3	1	3	1	5
2	2	3	3	5
1	4	4	3	5
2	1	5	2	3
2	4	5	4	5
5	1	5	4	5
Combined Rankings	99	69	100	106
Total # Votes	30	27	28	31
Avg. Score	3.3	2.5555556	3.571428571	3.533333333
Rank	4	5	2	1

ROUND 2 ONLINE INTERACTIVE MAP SURVEY (RESULTS & WRITE-IN COMMENTS AS OF DEC. 15, 2020)

Write-in Comments for Ben Rodgers Park:

How about some restroom facilities

Ben Rogers Park could really stand to have the trails paved.

we see that sand was removed and wooden chips/mulch is going to be placed instead. could we have rubber playmat ? its safer for infants and toddlers.

Please please DO NOT use mulch for the play area in Ben Rodgers park. Please keep the sand or at least add some rubber material on the ground for safety. Replacing sand with mulch is a VERY bad idea and will cause injuries to kids.

An updated Baseball/Softball Field would help contribute to youth sports in the community and would allow sports programs one additional field to use.

Parking is an issue here

Trex Deck for the picnic tables.

Mens Soccer is played each weekend on the open grass field. All arrive with a full bladder and nowhere to go so naturally they head for the trees. This makes it uncomfortable for those of us who walk the trails there. Please furnish small restrooms on site (even outhouses would be better). And please prioritize piping in reclaimed water for irrigation. One other suggestion: Offer to each park's neighborhood an opportunity to adopt a park. This would create vested interest to work with our contractors to improve things. Irrigation at Ben Rogers is poorly planned - lots of areas getting no water, others getting way too much or spilling right into the streets. A local volunteer care-taker who loves their park might make a positive difference.

More play structures and cater to all age groups and abilities would be more helpful and welcoming.

The worse possible piece of play equipment available in the whole world was installed in the sandlot here. The installers told me this, and they install playground equipment all over the state.

The softball structure is barely used. Perhaps equipment for a more popular sport might be better.

My friends and neighbors do love to walk their dogs in the park. While it shouldn't become a city dog park, perhaps a small fenced area where dogs could run freely might be appreciated. More doggy poo bags need to be provided.

As a senior, I would really appreciate that 'rough' paths should be completed with smooth asphalt. This includes the road into the picnic area from Grant Teton, and the paths, all three of them, into the southern section of the park. More park benches would also be appreciated. Some placed with Covid distances would be nice so we could still talk but at least 6 feet apart.

Add a hand washing station to the drinking fountain.

Picnic tables and benches all need new wood, and stained with preservative so they won't rot.

Hearing talk about little library. One in Ben Rogers would be wonderful.

For fun: some hidden geocaches that can't be stolen.

We are about the only park without an "Art in the Park" Can we get one please.

Remove flammable junipers. Replace with Toyon shrubs. Community garden showcase of native plants that thrive in our area.

ROUND 2 ONLINE INTERACTIVE MAP SURVEY

(RESULTS & WRITE-IN COMMENTS AS OF DEC. 15, 2020)

ROBERT E BROWNE PARK

Write-in Comments:

I would LOVE to see basketball courts here. There's no need for a playground here as it's near the one in Murphy Park and Sinnott Elementary School.
Dedicated Pickleball Courts
City seriously needs to pave the road from Sinnott park to this park. It already has a nice playground in this park. If fitness stations can be added around playground, it would be nice. The adults can do some exercises while watching the kids to play.

CALLE ORIENTE MINI PARK

Write-in Comments:

Sounds good. Please get it done. Thanks!
Glad the playground equipment will be updated.

CARDOZA PARK

Write-in Comments:

I am not in favor of this plan. You will be taking out lovely trees that are home to many birds including Cooper's Hawks. This will no longer be a Park, which is truly sad. So call it what it really is, an unwanted Hodgepodge Recreation Center. It will cause way more traffic on Kennedy Drive, and people who can't find parking at the recreation center, will spill over to neighboring streets, like they do for the 4th of July and other major events at Cardoza Park. Please don't ruin this lovely park!
Dedicated Pickleball Courts
Field improvement is key. This map is actually a great representation of the potential of this park to accommodate multiple sports.
The bathrooms need to be updated. There also appears to be a homeless man "living" in or by the bathroom alot. I ask my children to avoid that bathroom for security reasons. I usually walk my kids to the sports center for the bathroom.
Cardoza Park is in desperate need of a second or larger bathroom. It's a heavily used park and one stall each for male/female is not enough for the use that park sees, especially with plans to add more use area.
Need newer public restrooms
Due to the circumstances we should add handwashing stations in parks and play areas of high usage
The upgrades to softball fields look great but I notice there is no bleacher seating or dugouts for field nearest basketball courts. If this field is going to be an added field for softball or baseball it should have full amenities for use. Also, I noticed the scoreboard is not included in field design and wanted to ensure this field has lighting for night use as these amenities were included in previous field use.
1) Please provide shade for the playground structures. They were blown away or broken and then removed but never replaced. During the summer the structures get really hot because there is no shade.
2) The zip line on one structure was broken and removed long ago. Please fix the zip line or replace with something else in that empty space.
3) A tennis/badmitton court would be nice too.

ROUND 2 ONLINE INTERACTIVE MAP SURVEY (RESULTS & WRITE-IN COMMENTS AS OF DEC. 15, 2020)

CREIGHTON PARK

Write-in Comments:

looks good. please get it done. thanks!
Would like to have seen a basketball court added.
A multipurpose field on turf area would benefit youth of all caliber to play/practice (ie. Football/soccer/baseball/softball/cricket
can you add pickleball courts here, lots of open space?

DIXON LANDING PARK

Write-in Comments:

sounds good. please get it done. thanks!
This park needs significant upgrade, it's a high density park and needs to address the demand from all the housing in the locale.
Program such as cultural events and senior events at the park are welcome
This would be an ideal location for a city owned softball facility - I never understood why we have two little league baseball facilities and no softball facility. The Russel facility was nice when it was opened but the restroom facility hasn't been maintained very well or the fields. Recently the main field does look better.
Park should be revisited and looked to be redesigned for the growth of Milpitas
Lighted sports fields
Add Both softball and baseball fields
Would like to see revamped fields to accommodate girls softball.
Remove cricket strip so youth in community can effectively play baseball or softball at fields without disruption or fear of injury.
We need more fairy lights and light music playing in the background. Accessibility is a must because we need more integration. I would also love to see events directed at teens or the lantern lightings that they have near IHS. Such events could be painting or movie showings
tennis courts: repair and resurface courts, replace damaged nets and windscreens all around. Replace "parking lot" lights with brighter LED lights suitable for play.

TOM EVATT PARK

Write-in Comments:

Small dog park for part of the grassy area would be great for all the families living in the area
Tom Evatt Park is located in very close vicinity to residential homes with young children. Would like to see more toddler (2-5 years old) friendly play equipment and water splash pad.

ROUND 2 ONLINE INTERACTIVE MAP SURVEY

(RESULTS & WRITE-IN COMMENTS AS OF DEC. 15, 2020)

FOOTHILL PARK

Priority Ranking for Improvements:

	Pump Track	Dog Park	Updated Picnic Areas
	1	5	5
	2	3	3
	5	5	5
	3	3	5
	5	1	5
	5	3	4
	4	3	5
	4	2	4
	2	2	5
	4	5	4
	1	4	4
	4	4	5
	1	5	2
	1	1	5
	1	4	5
	4	1	4
	3	4	
	3	4	5
	3	4	5
	5	1	5
Combined Rankings	61	64	85
Total # Votes	20	20	19
Avg. Score	3.05	3.2	4.473684211
Rank	3	2	1

ROUND 2 ONLINE INTERACTIVE MAP SURVEY

(RESULTS & WRITE-IN COMMENTS AS OF DEC. 15, 2020)

GILL MEMORIAL PARK

Write-in Comments:

Add Cricket pitch to the sports center
I put a 5 on fitness equipment stations but ideally update the basketball courts.
Please paint two pickelball courts, one one each side at the tennis practice wall
Expand the handball/tennis backboard area by adding ~6 feet of surface to allow room to play Pickleball. Add pickleball lines to this area.
highest traffic park for milpitas and would need equipment that is sturdy and can last wesr and tear.. and also need to make use of HUGE grass field not being used to its fullest potential
Maintain softball field upgrades as backstop border has broken boards, broken lights, fence needs reinforcement.
Dedicated Pickleball Courts
Field improvement would be ideal for the baseball/softball field.
The playground(s) need to be desperately updated.
An upgraded playful d structure, Maintain Softball field upgrades (backstop, broken lights)
Turn soccer field into turf
The playground needs to be updated very badly.
Appreciate the pickleball lines at the practice wall, it would be great to have dedicated courts somewhere in Milpitas. Itâ€™s the fastest growing sport and many other cities have dedicated courts.
NONE. JUST HAVE A GREEN SPACE WITH WALKING PATHS AND GOOD LIGHTING FOR SAFETY. THAT'S IT.
Update the softball fields and replace lighting.
Update softball field
more Pickle Ball areas.
Please update the playground. Its the same one I used as a child in the 80s.
Playground or ammenities for special needs kids

ROUND 2 ONLINE INTERACTIVE MAP SURVEY

(RESULTS & WRITE-IN COMMENTS AS OF DEC. 15, 2020)

HALL MEMORIAL PARK

Write-in Comments:

Cleaner lagoon / stock fish in the lagoon / Provide pathway (walking and bike) along the levee. Instructions on what people should or should not feed the ducks, etc.
FIX THE BALD EAGLE CAM and place it in a better location for better viewing.
Thank you for thinking of me and asking our thoughts. Here is a list of some ideas we brainstormed to do around Milpitas parks:
1) Movie at the park - show movies on a screen in the outdoors - good for spring/ summer; enjoy popcorn
Dedicated Pickleball Courts
What do you mean by Interpretive signage at lagoon? Example would have been nice; Please try and find a way to keep the geese off the field -the geese feces is everywhere. There must be a program that can be done to humanly take back the park from the geese to make it cleaner for the youth who use the field for softball. Update the lightning - look into using solar lights.
Ideally it would be nice to have a full soccer park with lighting as there is a large following for soccer in the community. Also, lighting would provide for ample teams to use the facility at night and not have to wait on use at other facilities. Milpitas should have its own soccer park as the have a baseball complex, softball complex, a football field for public use!!
This park is used quite a lot by our local soccer leagues and would benefit from a turf field. Many of times the city has closed it to let the grass grow multiple times due to gopher holes and the geese poop. Updating the lights would help tremendously since some lights work and don't work consistently, also you could save money putting in an efficient system.
Should be turfed and opened year round. No reason to have limited use of land because of seeding, ect. We need the use of fields (especially one with lights) for our youth sports. Again, city growth exceeds what the city can currently offer.
can you add PB lines to the tennis courts?
A few shaded paths with arbors for walking during summertime. A few scenic focal points for people to admire and take family pictures at. I recommend taking a look at some of the Milpitas neighborhood private parks for visual inspiration and ideas such as Metro Parc by the Great Mall and train tracks which has columns and plants that climb overhead. Another would be Family Fun for Everyone, a very small private park in the townhouse neighborhood behind Kaiser Permanente near the 680 entrance on Calaveras. It's tiny but uses space practically and has wonderful landscape and design features for its small space; arbored walking path lined with lime trees and really nice vining greenery growing against the wall that makes for a wonderful photo backdrop. Most importantly, it's well maintained and clean.
Softball fields for our youth women
It's a very nice park overall. My brother and his friends enjoy playing soccer on the field. However, I feel like the bathroom/tennis area could be remodeled because it's showing signs of wear.

ROUND 2 ONLINE INTERACTIVE MAP SURVEY

(RESULTS & WRITE-IN COMMENTS AS OF DEC. 15, 2020)

HIDDEN LAKE PARK

Write-in Comments:

PLEASE install bright lights here. It is so dark at night.
landscape needs updating, trail paving is failing and needs replacing
take care of that poop covered dock!!! it is a disgusting look to our city
Asphalt needs repair as well as second aerator.
Repaving and more garbage cans
Review the picnic table areas and make sure they are maintained.
My family and I really enjoy biking to Hidden Lake Park! We live by Hall Park, so we like to take the Berryessa Creek Trail, head past Hidden Lake Park, and down to the iTea/IHOP area. We haven't been there for a while, but we noticed that the trail path changed. Although we haven't tried biking on it yet, we hope that other trails/paths to parks will be bike-friendly as well.
Repave the path around the lake. There are cracks and hazardous bumps.

HIGUERA ADOBE PARK

Write-in Comments:

This is the only park we use and am grateful for its recent upgrades.
Might be suitable space for dog park as there is lots of open space
Last I checked about 6 months ago, the water coming out of this parks fountain was tainted with something that tastes like paint thinner. Please check.

HILLCREST PARK

Write-in Comments:

Perhaps restrooms would be nice. Or is that a park that is not meant for people to stay around at?
Swings in the playground
Hillcrest park's path is narrow, wore out and uneven. However, MANY residents walk at this park.
Short term: During pandemic period, please mark path with one direction, so that people won't need to avoid people walking from opposite direction.
Long term: Repave the path. Maybe reduce the grass area and increase the paved path width. Add adults fitness equipment stations, so that people don't need to wait to share the only two hand bars in park and block the walking path.
Trex Deck for the picnic tables, get a professional to remove the wasp nest from the bike rack and from the sprinkler system controller.

ROUND 2 ONLINE INTERACTIVE MAP SURVEY

(RESULTS & WRITE-IN COMMENTS AS OF DEC. 15, 2020)

JONES MEMORIAL PARK

Write-in Comments:

HUGE SPACE of a park will do well for updates
I see the children's play equipment being updated. I don't like the wood chips. Why aren't you put a rubberized surface like the children's play structure at Cardoza. Seems safer to me.
If there are pump tracks, then ample parking is needed.

MCCANDLESS PARK

Write-in Comments:

Could have an open area with just grass for kids to run around and play?
looks good. please get it done. thanks!
Please give higher priority to walking as walkways. Thanks.
I think the design is likely to overcrowd the area. Also I feel that a lot of emphasis is given to dogs given the area assigned within the park. That area will be cut off from the rest of the general public.
Also I don't see any path that will allow the public to go around the park either walking or jogging.
A jogging track around the park will serve a better purpose for the general public.
Please plant lots of flowers and small trees around the wall equipment area as much as possible. Please make sure the surrounding communities and kids are safe by monitoring the entrances to adjacent neighborhoods.
Please consider adding baseball/softball fields to this Multi use field. There are many School age kids in this area and it would be great if they didn't have to travel across town for field access
It would be nice to see a backstop put in for baseball or softball to use the multi-use field.
An addition to our the multipurpose field of a Baseball/Softball backstop would contribute to the youth sports teams in the community as it would allow for another venue for them to use.
Can't read details of image, however there should be lighting surrounding field for use. Again, the growth of Milpitas exceeds the needs of our youth sports. Not only do we need the fields for play, we need practice space especially for the older kids....

MCGUIRE PARK

Write-in Comments:

More parking!
Dedicated Pickleball Courts
The playground is too small for the amount of children it's servicing. Also, parking is HORRIBLE!!! The rental facilities at the park are great, but I avoid hosting any events there because guests have no where to park.

ROUND 2 ONLINE INTERACTIVE MAP SURVEY

(RESULTS & WRITE-IN COMMENTS AS OF DEC. 15, 2020)

MILPITAS DOG PARK

Write-in Comments:

More seating for Dog owners
I have always had big dogs that are trained, Dog parks have a lot of issues that bring untrained unfriendly dogs in. If we have an intown dog park it needs to be in an area that is NOT secluded like Ben Rodgers

MILPITAS SPORTS CENTER

Write-in Comments:

Cricket
Install a cricket pitch in one of the baseball fields. Cricket and Baseball can share the same field as their field needs are 90% similar.
I think cricket should be added to the facility.
Cricket ground should be included.
Cricket should be included
Add cricket pitch to the sports center
We like to have a cricket field in this place. Thank you
Add Cricket pitch to the sports center
Cricket pitch is needed.
Add cricket pitch to the Sports Center
Band Stand or Amphitheater should be either here or Cardoza.
lookss good. please get it done. thanks!
Need a Cricket pitch in Milpitas Sports Centre. So Cricket lovers can also use the facility.
Add cricket pitch to one of baseball fields to make it All Sports Center
Add cricket pitch to Sports Center
This map is great representation of the potential of this facility. It has improvements to every field and sport.
Looks Great!
Cricket field at the sports center!!!

ROUND 2 ONLINE INTERACTIVE MAP SURVEY

(RESULTS & WRITE-IN COMMENTS AS OF DEC. 15, 2020)

MURPHY PARK

Write-in Comments:

Cricket pitch for children

I believe Murphy Park is the prime park in Milpitas outside of Cardoza/Milpitas Sports Center. You should really look into improving the picnic area, the playground and the open field where the restrooms are. If you can somehow integrate all 3 together, then you would have a prime spot for families to go to. I would highly suggest you upgrade the lights throughout the park to ensure safety for the people around and who want to walk at night. I think the empty field in the north side of the park would be perfect for the pump track that you are looking to create.

Add cricket pitch

Upgrade play equipment (old/broken), upgrade playground material, fix bathrooms/amenities

Squishy ground instead of sand, or small sand area separate from main play structure. Music elements.

Would love to see the playground upgraded/updated...Creighton Park looks wonderful the dog park was a waste of city funding.

I think this space is used already for community events by the playground and bathrooms. On the other side it is used for soccer and cricket. Keep the soccer field it is a precious commodity because there are bathrooms close by unlike other parks and fields. Redo the children's playground if you haven't already.

PINEWOOD PARK

Write-in Comments:

Please update the backboard of the basketball courts here. They are heavily used and are due for a brand new one.

The park needs barriers at EVERY place a car can be driven into the park. You must be tired of fixing the grass when cats drive on it.

sounds good. please get it done. thanks!

would you transition the loose ground for a smooth/flat surface of recycled materials?

would like for Milpitas to remedy the cat overpopulation in the neighborhood so that my kids can enjoy running in the grass instead of watching for cat feces.

Pinewood Park has trees that release thorns on the paved walk path. in the last 2 years since we moved to the neighborhood, we've spend so much money on replacing our kids' bike tires because of the thorns from the park.

For a park with a lot of open space, a potential for a softball/baseball backstop would be a great addition to the community as it would be nice to have access to practice facilities all over the city.

APPENDIX: COMMUNITY OUTREACH

ROUND 2 ONLINE INTERACTIVE MAP SURVEY (RESULTS & WRITE-IN COMMENTS AS OF DEC. 15, 2020)

SANDALWOOD PARK

Write-in Comments:

Please dont add more asphalt to a park. An open field meets a variety of needs, better than dedicated loops. joggers can run the periphery and green strip already.
looks good. please get it done. thanks!
This is really needed!!
It would be great to update the amenities and play structure at the park.
I WOULD PREFER TO HAVE ALL THE PLAYGROUND EQUIPMENT, BBQ STATIONS, ETC REMOVED. JUST HAVE GREEN SPACE WITH A WALKING TRAIL AND AMPLE LIGHTING TO MAKE IT SAFE. THIS PARK IS A GATHERING SPACE AT NIGHT FOR PEOPLE WHO ARE UP TO NO GOOD.
convert Basketball area to a pickle ball court.

SINOTT PARK

Write-in Comments:

Permanent pickleball courts
Maintain sand volley court
It will be nice to see more fitness equipment added to the park.

MILPITAS SKATE PARK

Write-in Comments:

Cricket pitch
Why are so much activities and money being spent on youth and teen activities? Milpitas has a large senior population. They deserve attention.
Dedicated Pickleball Courts
Scooter kids are ready!

STICKROTH PARK

Write-in Comments:

This is not strickroth park
A community garden would go well with updated picnic areas. This will encourage families to go out and enjoy the park more as it's more scenic.
I don't think fitness equipments are ideal right now during and in the initial months after covid.
You have 2 strickroth parks on here, one is actually Starlte
New playground equipment. The existing equipment has been here since the park was build.
The field improvement would be ideal for both soccer and baseball/softball and seating and potentially a bathroom
Add public bathrooms so this park could be better used by youth and the public.
this park doesn't have a bathroom. It's difficult to hold youth sports practices there without one. It's a great park to practice soccer or baseball if it was maintained and had a bathroom. Please consider this.

COUNCIL & COMMISSION PRESENTATIONS

MEETING SCHEDULE

No.	Commission Name	Meeting Schedule	City Staff Liasion	Presentation Date
1	Art	The Arts Commission shall hold meetings the 4th Mondays of January, March, May, September and November at 7:00 PM	Tegan Mclane	1/6/2021
2	Community Advisory	The Community Advisory Commission shall hold meetings the 1st Wednesday of every month except July, at 7:00 PM	Robert Musallam	11/4/2020
3	Economic Development and Trade	The Economic Development and Trade Commission shall hold meetings the 2nd Mondays of every month except, December and July, at 4:30 PM	Alex Andrade	11/9/2020
4	Energy and Environmental Sustainability	The Commission meets the 3rd Wednesday of every month except July, at 6:00 PM	Elaine Marshall	11/18/2020
5	Library and Education advisory	The Library and Education Commission shall hold meetings the 3rd Monday of every January, March, May, September, and November, at 7:00 PM	John Macon	11/16/2020
6	Parks and Recreation & Cutureal Rsources	The Parks, Recreation and Cultural Resources Commission shall hold meetings the 1st Monday of every month except July, at 7:00 PM	Renee Lorentzen	10/05/2020 & 05/03/2021
7	Planning	7:00 p.m. on the 2nd and 4th Wednesday of the month	Ned Thomas	11/18/2020
8	Public Safety and Emergency Preparedness	The Public Safety and Emergency Preparedness Commission shall hold meetings the 3rd Thursday of every January, March, May September and November, at 7:00 PM	Toni Charlop	1/21/2021
9	Science, technology and innovation	The Science, Technology and Innovation Commission shall hold meetings the 3rd Monday of every month, except July, at 7:00 PM	Daniel Nam	1/25/2021
10	Senior Advisory	The Senior Advisory Commission shall hold meetings the 4th Tuesday of February, April, June, August, October, and December, at 1:30 PM	John Macon	not attended due to scheudling conflicts and previously agendized items
11	Veterans	The Veterans Commission shall hold meetings the 1st Wednesday of February, April, June, August, October, and December, at 5:30 PM	Dale Flunoy	2/3/2021
12	Youth Advisory	The Youth Advisory Commission shall hold meetings the 2nd Thursdays of every month, except July, at 7:00 PM	Anthony Teschera	12/10/2020

COUNCIL & COMMISSION PRESENTATIONS

MEETING NOTES

Milpitas Park and Rec Master Plan Council and Commission Meeting Notes

Arts:

- Celebrate the cultural diversity of Milpitas in the park system
- Need a stage for performing arts must have access to parking
- Would like to see a community destinations park that was accessible to the total community
- Each neighborhood park should have a cultural theme based on neighborhood identity
- Like the idea of adding Art to the parks
- Is it possible to reduce access fees to Levin Park for Milpitas residence?
- Like the idea of food trucks Milpitas is known as a foodie town
- As we put more activities and events into parks need to make sure there's adequate parking
- Dixon Landing has been used for the India Spring festival in the past

Community Advisory:

- Do not forget about items not completed in previous plan, make sure they are addressed and included (if feasible) in this Update
- Keep commission members in the loop of the project process
- Social services – more inclusive activities and parks in project update

Economic Development and Trade:

- Parks and open space are important for people to remain healthy and socialize safely given the COVID-19 pandemic
- Feeder programs that prepare kids for middle and high school sports, such as basketball, baseball, softball, track & field, should be considered when creating park spaces that could further grow these development programs
- Explore public/private partnership opportunities
- Request from public attendee – consider giving the youth of Milpitas more means to provide input

COUNCIL & COMMISSION PRESENTATIONS

MEETING NOTES

Energy and Environmental Sustainability:

- Discourage use of synthetic turf when renovating existing parks or designing new parks

Library and Education Advisory:

- Library park site no longer in plan as a possible new park site
- Library staff open to helping spread the word about survey and encourage participation
- Benchmarking is a way to measure yourself against nearby or similar communities. Not meant to be used other than a scan of the area and the data can be used to understand where you stand.

Parks, Recreation & Cultural Resources:

10/5/2020

- Barriers to using parks – limited hours. Would like to use facilities and parks before and after work hours
- Cannot find plan website on google
- Limited lighting at parks, people more likely to use parks if adequately lit
- More walking paths

5/3/2021

- Girl's softball home – where are they going to go? Concerned that the City can accommodate all youth sports leagues
- Dixon Landing Park will be improved to allow for multi-use and a 4th field will be installed
- In focus group meetings, all sport groups and users are amenable to multi-use in order to keep kids and adults playing as needs grow
- Is it possible to extend the JUA with MUSD or purchase excess school site lands
- Appreciate the diversity of sports/uses
- New developments are required to build park or pay in-lieu fee or a combination of both
- How do we optimize the dollars coming in from new developments for existing parks throughout the city that those new residents are using

COUNCIL & COMMISSION PRESENTATIONS

MEETING NOTES

- Appreciate that the community was able to give input on parks and sports fields
- McCandless Park and Murphy park updates – related to JUA
- Bathrooms in every park, as deemed appropriate, especially near playgrounds as children.
- All parks have drinking fountains with bottle fillers planned
- Would like to see a rock climbing wall in park(s)

Planning:

- Access to power at Parks to facilitate rentals did not want to have to rent generators.
- Would like to see a major community park that could be a destination something unique and fun for the whole community.
- Would like to consider food for us and permaculture in Parks in addition to community gardens.
- Want to see pollinators and habitat improvements and parks.
- Want to know where there was a deficit of Parks in the community. Felt there were more parks on the east side concerned about adequate parks in the more urban areas.
- Wanted to know how small a park could be and still be considered a park.
- Wanted to know how parks were being funded in the new areas and was that a part of our study. Park fees are not a part of the master plan study but guidelines. Defining what constitutes dedicated park facilities will be part of the master plan.
- Ned shared the idea that linear parks along the creeks would connect the smaller parks to create a complete park system.
- the concept of experience over acreage was discussed
- Wanted to see more exercise equipment and Parks discussed the idea of exercise equipment being positioned to provide opportunities for socialization at safe distances.
- Parks as a place to get to know your neighbors

Public Safety and Emergency Preparedness:

- Currently only 1 dog park within city of Milpitas @ Ed Levin
- Question the need for WIFI in parks
- Are we looking at drought resistant planting in parks? Try to keep parks looking good, but not rely on water to keep things looking welcoming

COUNCIL & COMMISSION PRESENTATIONS

MEETING NOTES

- Looking forward to JUA between City and MUSD

Science, Technology, and Innovation:

- Not only teens requesting WIFI. What type of WIFI is being provided? Master Plan only recommends that the City look into WIFI for parks and public spaces
- Commission is looking for provide targeted WIFI for people and areas where access is lacking

Veterans:

- Creighton Park recently updated and the park looks great and lots of kids using it
- Great to see the efforts the City and consultants are undertaking in regards to the public parks and their condition

Youth Advisory:

- Design parks to accommodate more teens
- Agreed to take survey and share with their peers
- Sustainability is priority

PUBLIC COMMENTS ON DRAFT MASTER PLAN

Comments from Public on DRAFT MASTER PLAN

As of June 25, 2021

Comment: I would love to see more community gardens, especially in the Great Mall area. We have three large parks within blocks of each other, but most of these parks are under-utilized (at least in the 10 years I've lived here, I've barely seen folx use the park. I will say that during the pandemic, more folx have used it, but it's a handful of people each week. I would like to see a portion of Parc Metro West (the smaller part of the park) be repurposed into a community garden. As a private resident, I'm happy to work on a budget and even help maintain the garden (maybe even source neighborhood kids to learn about gardening). But we have this precious land that we should honor and make the most of.

--

Comment: I would love to see a community garden in this budget. I would be happy to help maintain the garden, but we can absolutely get supplies and plants for \$2,500. I don't want to convert the whole park into a garden, just a small portion of it.

--

Comment: Okay, so I'm not sure whether this is public property or private property, but there's a marsh/pond area between CETECOM and I-880 along Dixon Landing Road. Currently, the only way to view the marsh is from CETECOM's parking lot. There appear to be very old, almost destroyed benches on one side of the marsh, which indicates that the area was once accessible to public viewing. My suggestion is to possibly make a small amount of access by making a sidewalk on the other side of Dixon Landing to view the marsh or (if it doesn't disturb the habitat) making a small trail on the north end of the marsh connecting to Milpitas/WarmSprings boulevard.

Comment: Please continue to offer low cost programs especially for Milpitas residents. Please also look into alternatives of paying for these programs. When registering online, the registration fee charge is very high. Also found out if classes change or schedule changes, this fee is non refundable. Should not charge so much (% of the class cost). Would be better if there's a way to register for free. In person if free risks classes being sold out.

--

Paragraph Number: Improvements to Sinnott park

Comment: - Community garden - Think too much maintenance and left unmaintained will look messy and unappealing. In my yard, if I leave it for over two weeks, flowers and leaves start wilting. I'd rather space be used for another thing. Example: Baby - toddler sand box.

- Regarding replacing play ground! Great!!! Also good to take out sand and replace with rubber vs wood chips if possible. Anything but sand... since it's not cleaned often, I find trash in the sand.

- Pickle ball? Can you have tennis courts instead? The tennis courts on Yellowstone is always always full! Seems tennis is attractive to older folks, and since none of courts available, kids can't play. To compromise... how about tennis court with pickle ball lines too? Share space? Tennis courts would benefit students who would like to excel in that sport without having to pay for gym/court membership. Tennis courts available for free would be beneficial to people who don't have access to expensive clubs due to public availability. I'm disappointed MHS doesn't open 10 of their courts to the public. That would be nice.

- For more space for tennis courts... perhaps you can take out sand volleyball space. Have volleyball played in grass area instead.

- Lights at night would be good for safety. So ppl don't do bad stuff at the park during the night.

- Thx for having meeting available online. Thx for taking suggestions and giving us time to respond with comments.

--

PUBLIC COMMENTS ON DRAFT MASTER PLAN

Comments from Public on DRAFT MASTER PLAN

As of June 25, 2021

Comment: Tennis courts at Bob McGuire Park. No parking at all! Unfortunate because people outside of the immediate area would never be able to find parking and go to use the tennis courts! Amphitheater also extremely limited parking! I have driven around for over half an hour looking for parking.

--

Comment: More tennis courts in Milpitas please! Tennis courts closest to me (on Yellowstone) are always taken up! My kid and and neighbor are never able to get one. There should be time limits! Or sign up lists.

--

Comment: Milpitas Parks should offer goal nets to more parks, I have been to most of the parks in Milpitas yet they have no public goal nets or even goal frames. Milpitas has a lot of people who enjoy soccer, they should be able to enjoy it even more with nets.

--

Comment: Please try to include an cricket pitch or badminton court in the Mccandless park. There is a multi use /soccer play ground which in corner can accommodate an cricket pitch. please consider.

--

Comment: Gill Park - the handball court is going to be re-surfaced again? It was done last year. There are a few small areas that need repair. Maybe re-surfacing not needed??

--

Comment: Building courts at Sinnott may cause an issue with residents who may complain about the noise. They may be too close to homes. Residents may also complain about the potential abundance of cars parked on the nearest street. Check out these articles:

<https://www.acousticalnoise.com/noise-control/why-are-your-pickleball-courts-receiving-complaints-from-neighbors/#:~:text=We%20recommend%20that%20pickleball%20courts%20to%20be%20located,use%20C%20or%20leads%20to%20ongoing%20disputes%20with%20neighbors>
<https://www.berkeleyside.org/2020/11/13/north-berkeley-neighbors-complain-noisy-pickleball-games>

Gill Park would be a better location, on the right side of the tennis courts - but perhaps that area is off limits since it belongs to the county and city of SF? Then maybe the handball court should be totally removed, and perhaps three courts can be configured to fit into that space between the tennis courts and the playground? Or even the area on the left side of the tennis courts. Gill also has adequate parking.

Another suggestion would be to convert the least utilized tennis courts in the park system.

Thank you for your attention to my comments and the city's plans to try build some much needed dedicated courts.

--

Comment: Thanks for including a permanent pickleball courts in the Master Plan. John Sinnott is a good location except it might be close to houses. Pickleball has been known to cause problems with noise. That needs to be evaluated, see Internet for cases of noise issues. Berkeley is one example. Sinnott does not have its own parking though I believe there is enough street parking near by.

PUBLIC COMMENTS ON DRAFT MASTER PLAN

Comments from Public on DRAFT MASTER PLAN

As of June 25, 2021

A better location for the permanent pickleball courts would be located to the right of the Gill tennis courts. This is far enough from any houses. As far as I know there has not been complaints about noise from the Gill hitting wall courts.

You can easily setup 3 courts in the grass area and may share even one fence to save on cost. Also, you can share the light posts should lights be needed. Gill is ideal as it has plenty of parking for the players who play there 3 times a week from 8am to noon.

Another option is to build the courts at Calaveras Ridge. The space is not used right now and it has some parking and plenty of street parking.

Please feel free to contact me if you need clarifications or any discussions.



PROGRAM FEE ANALYSIS

The following section contains the Recreation Fee Assessment of the programs offered by Milpitas Recreation and Community Services. The analysis was performed and compiled by Matrix Consulting Group.

APPENDIX: PROGRAM FEE ANALYSIS

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PROGRAM FEE ANALYSIS

Chapter 3: Recreation

PROGRAMS

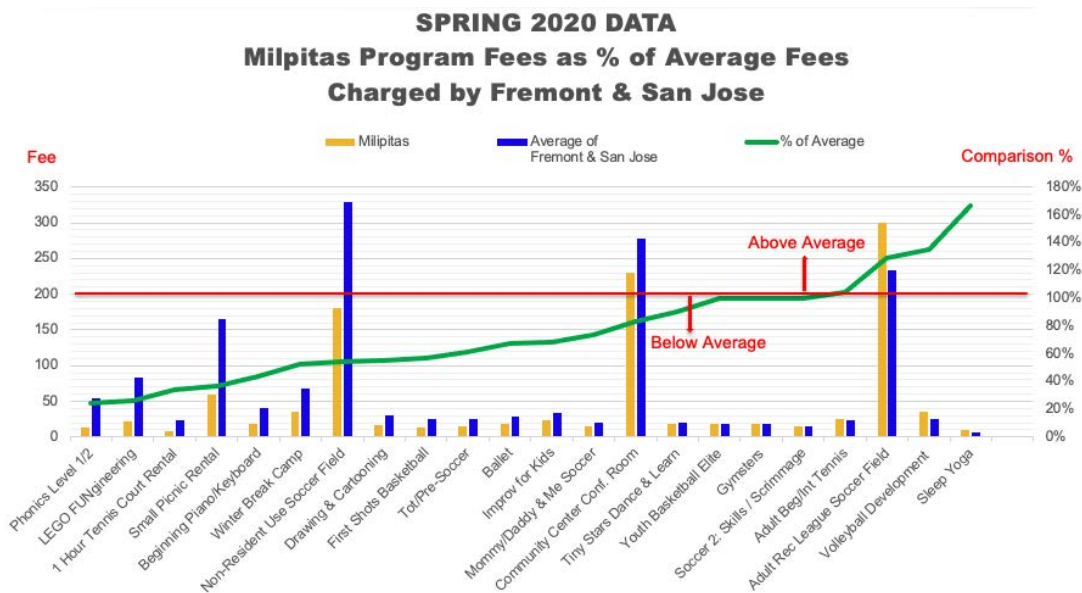
OVERVIEW

The City of Milpitas, as part of the Parks Master Planning effort, is evaluating the fee structure of Recreation Fees currently charged by the City to support Recreation programming activities. The following section summarizes observations and recommendations related to the fees charged by the City for various recreation programming activities. At the present time, recreation programming is limited by the existing facilities and programming spaces available to the City for use in providing programming and other recreational activities.

The City of Milpitas Recreation and Community Services Department offers a wide variety of program in the following areas: Senior Services, Youth Programs, Special Events, Performing Arts, General Classes, Aquatics and Sports & Fitness. In general, it provides a holistic approach to courses and attempts to meet the diverse and unique needs of the city’s residents. This review of programs, compared Milpitas to four similar agencies, where population and program offerings were most similar.

COMPARATIVE ASSESSMENT OF COURSE/PROGRAM FEES

City of Milpitas fees for selected programs and services (generally offered by multiple comparable agencies) to those charged by comparative agencies. The following graph summarize the findings of this effort for Fremont and San Jose - the two primary comparables to the City of Milpitas. Detailed tables and graphs for each program and service surveyed are provided in Appendix X and show how the City of Milpitas compares to the entire set of agencies selected: Fremont, Mountain View, Redwood City, and San Jose.



APPENDIX: PROGRAM FEE ANALYSIS

PROGRAM FEE ANALYSIS

As shown, the fees charged for the majority of programs are below the average charged by San Jose and Fremont indicating some ability for the City to adjust some select fees and still remain competitive in the public sector market.

LOCAL MARKET FEE COMPARISON

In addition to comparing fees to other communities, a small sample of programs and services were compared to local providers within the City of Milpitas to conduct a "reasonableness" test against costs for similar programs conducted by the private sector. While it is difficult to develop a completely equitable comparison between the City's services and those of other providers due to differences in facilities and gym offerings, this information provides at least an approach to gauging whether or not fees are aligning with market conditions. In general, this analysis supports the conclusion that the City is charging appropriate fees for programs but may have some capacity to increase rental rates for meeting and banquet facilities if desired.

The specific programs and services were identified in consultation with city staff and then outreach conducted to the providers to ascertain the costs they were charging for the similar services. The results are shown in the following table.

Banquet Halls and Meeting Rooms	
Service Provider	Fee Amount
India Community Center	\$3,500 per day weekdays and \$8,000 per day weekends - includes 10 hours per day with set up, tables, chairs, and linens included. Anything else is extra.
Spring Valley Golf Course	Indoor facility for 165 people. Patio seating for a total of 300 guests. Room rental fee of \$500 which is waived if total cost is over \$7,500. Required minimum \$4,300 in food and beverage, not including service charge of 17% or applicable taxes.
School District	76 person community meeting room at Mattos Elementary School is \$95 per hour or \$1,520 per day.
Summit Pointe Golf Club	150 person inside and 50 outside banquet room/patio. Includes full banquet staff, buffet menu, set up/clean up, tables and chairs, coffee, water, and tea. 4 hour minimum. 15-59 people \$800. 60-119 people \$1,200. 120-200 people \$1,800. \$200 per hour after initial 4. \$100 cleaning fee.
Gym Membership:	
Service Provider	Fee Amounts
India Community Center	\$10 initiation. \$45/monthly or \$449 annually. Family \$69 monthly or \$699 annually. Student \$29 or \$299. Senior \$15-25 month or \$160-\$249 annually (basic or full access membership difference).
India Community Center	Adult join \$90/Monthly \$73. Senior 90/66. Youth 45/37. Family (max) 165/161.
Fitness 19 Milpitas	Monthly rates from \$10-30 depending on access to features. 1-year commitment required.
Milpitas Star Aquatics and Fitness	\$40 annual maintenance fee. Gym \$50 sign up and \$20 monthly (first person, \$15 second person and \$10 each third+). Gym and pool membership is \$50 sign up and \$40 monthly. \$30 second person and 3 rd + each \$20 per month. 25 yard heated 7 lane pool for laps. 20 yard heated shallow pool for family swim.
City of Milpitas	Sports Center Unlimited Membership of \$60/monthly or \$480/year with reduced rates for seniors of \$235/year.

PROGRAM FEE ANALYSIS

While services and offerings between these facilities are not entirely consistent, the cost comparison does indicate that the City is in line with the rates being charged by other local service providers.

When considering additional programs or expanded programming, the following local market information may be useful in ensuring that the rates charged by the City are in alignment with fees in the local market.

Yoga	
Service Provider	Fee Amounts
Bikram Yoga	1 year / \$1200.
Worlds Yoga:	\$25 initiation. Yearly - \$79/mo. 6 months \$89/mo. 3 months \$99/mo. Drop in \$20. Class package 5 = \$75. 10=\$130. 20=\$240. 30=\$330.
Programming / events/ tutoring	
Service Provider	Fee Amounts
Christ Community Church	programs offered and costs. ESL \$50/year and free child care kids 0-9. Classes held about 28 days per month.
Kuman Math	Reading and Math programs. \$140 per month, per program. Each class is 20-30 minutes long and classes are held 2x each week. \$50 initial registration fee.
The Tutoring Center	\$279, 1 child, 2 sessions per week. \$359 3 sessions per week.
PEL Learning Center, Inc.	1 x registration \$50-\$100 (not sure why the range). Private tutoring \$35-\$40/hr. After school "homework help" \$100-\$150/month.
Science Nature Labs at Pump it up	science classes for kids aged 9-12. \$30/day.
KidzToPros	Introducing to "Python Programming". Grades 6-8. June 15-19 from 9 am – 3 pm. \$595. Computer programming skills held at Curtner Elementary School.
KidzToPros	•

A comprehensive assessment was made of the programs offered by the City of Milpitas' Department of Recreation and Community Services against those offered by comparative municipalities. For the purposes of the fee and program offering assessment, the following communities were utilized as comparatives: Fremont, Mountain View, Redwood City and San Jose.

The following table shows a summary of the most frequently offered classes that other communities provide that are not currently provided by the City of Milpitas. This listing shows only those programs where two or more of the comparable entities provide the class. A detailed listing is provided in Appendix C that shows the entire comparison and highlights classes that only one other entity offered.

This information is useful, as one tool, to evaluate new potential courses or programs that the City of Milpitas should consider in the future.

APPENDIX: PROGRAM FEE ANALYSIS

PROGRAM FEE ANALYSIS

RECREATION CLASSES (From Fall & Winter 2019 Activity Guide)	Fremont	Mountain View	Redwood City	San Jose
Chess Beginner (ages 5-13)	\$99 1 day/wk 1 hr class 7 classes	Not Offered	\$231 1 day/wk 1.33 hr class 9 classes	Not Offered
Chess Advanced (ages 5-13)	\$99 1 day/wk 1 hr class 7 classes	Not Offered		Not Offered
Math Olympiad (ages 6-8, 9-11)	\$449 1 day/wk 2.25 hr class 9 classes	Not Offered	\$180 1 day/wk 1 hr class 4 classes	Not Offered
Children's Little Theater (ages 4-6)	\$189 1 day/wk 1 hr class 9 classes	\$170 Res/\$213 1 day/wk .75 hr class 5 classes	\$330 1 day/wk 1.5 hr class 8 classes	Not Offered
Young Rembrandts: FUNdamental Drawing (ages 4-6)	\$129 1 day/wk 1 hr class 6 classes	Not Offered	Not Offered	\$118 1 day/wk 1 hr class 6 classes
Adult Ballet (ages 16+)	\$139 1 day/wk 1 hr class 10 classes	Not Offered	\$199 1 day/wk 1 hr class 11 classes	Not Offered
Adult Beginning Tap (ages 16+)	\$139 1 day/wk 1 hr class 10 classes	Not Offered	\$78 1 day/wk 1 hr class 6 classes	Not Offered
Zumba Dance Fusion (ages 18+)	\$69 1 day/wk .67 hr class 6 classes	Not Offered	\$126 1 day/wk 1 hr class 10 classes	\$43 Res/\$47 NR 1 day/wk 1 hr class 6 classes
Beginner Belly Dancing (ages 18+)	Not Offered	\$198 Res/\$248 NR 1 day/wk 1 hr class 12 classes	\$62 1 day/wk 1 hr class 7 classes	Not Offered
Karate for Kids (ages 7-12)	\$109 1 day/wk .5 hr class 10 classes	\$135 Res/\$169 NR .83 hr class 7 classes	98 2 days/wk .92 hr class 7 classes	Not Offered

PROGRAM FEE ANALYSIS

RECREATION CLASSES (From Fall & Winter 2019 Activity Guide)	Fremont	Mountain View	Redwood City	San Jose
Tae Kwon Do (ages 5-19)	Not Offered	\$125 Res/\$157 NR 2 days/wk 1.5 hr class 24 classes	\$162 2 days/wk 1 hr class 12 classes	Not Offered
Guitar (ages 6-16)	\$175 1 day/wk .83 hr class 6 classes	\$396 Res/\$496 NR 1 day/wk .83 hr class 13 classes	Not Offered	\$154 +\$10 material fee 1 day/wk .75 hr class 6 classes
Adult Guitar (ages 17+)	\$175 1 day/wk .83 hr class 6 classes	\$396 Res/\$496 NR 1 day/wk .83 hr class 12 classes	Not Offered	\$110 Res/\$114 NR 1 day/wk .75 hr class 7 classes
Ukulele for Fun! (ages 4+)	\$175 1 day/wk .75 hr class 6 classes	Not Offered	\$25 1 day/wk 2 hr class 1 class	\$154 +\$10 material fee 1 day/wk .75 hr class 6 classes
Violin Study (ages 4+)	\$175 1 day/wk .83 hr class 6 classes	\$396 Res/\$496 NR 1 day/wk .83 hr class 12 classes	Not Offered	Not Offered
Skateboarding Lessons - Beginning Level (ages 6-12)	\$169 1 day/wk .75 hr class 4 classes	Not Offered	\$131 1 day/wk 1 hr class 5 classes	\$171 Res/\$175 NR 1 day/wk 2.5 hr class 6 classes
Skateboarding Lessons - Intermediate Level (ages 6-12)	\$169 1 day/wk .75 hr class 4 classes	Not Offered		
Tennis: Red Ball (ages 5-6, 7-8)	\$79 1 day/wk 1 hr class 5 classes	Not Offered	\$92 1 day/wk .67 hr class 6 classes	\$125 1 day/wk 1 hr class 6 class
Tennis: Orange Ball (ages 9-10)	\$79 1 day/wk 1 hr class 5 classes	Not Offered		\$125 1 day/wk 1 hr class 6 class
Tennis: Fremont Tennis Academy (ages 11-17)	\$79 1 day/wk 1 hr class 5 classes	Not Offered		Not Offered
Tennis: Adults beginner (ages 18+)	\$75 1 day/wk 1 hr class 5 classes	Not Offered	\$92 1 day/wk 1 hr class 6 classes	Not Offered

PROGRAM FEE ANALYSIS

RECREATION CLASSES (From Fall & Winter 2019 Activity Guide)	Fremont	Mountain View	Redwood City	San Jose
Tennis: Adults Intermediate (ages 18+)	\$75 1 day/wk 1 hr class 5 classes	Not Offered		Not Offered

There are multiple opportunities, based on demand for classes seen in other communities, to explore the addition of additional programs within the City of Milpitas' portfolio of classes. Additional opportunities are likely to be identified as part of the larger Parks Master planning process once information becomes available from the community input phase and the project teams have developed recommended park and facility improvements.

RECOMMENDED FEE ADJUSTMENTS

Based upon the comparative assessment, it is recommended that fees for comparable recreation programs be adjusted to match the average of the comparative assessment unless there is specific information available that warrants maintaining a rate below market rate. At the present time the project team is not aware of any specific data that would warrant charging a below market rate. The detailed program assessment is included in Appendix B. For programs where market adjustments are not required, the City of Milpitas should consider implementing fee increases to cover cost of living increases to ensure that annual internal cost increases (personnel, contractual, utilities, etc.) do not impact the cost recovery of the department.

Based upon the market assessment, the following table summarizes the types of market adjustments that are warranted based upon the comparative assessment. Where no change is recommended for market adjustment, the City may still consider a small cost of living adjustment to account for increased operating costs year over year attributable to internal cost increases.

The assessment showed that of the programs reviewed, 55% warranted no change in fees based solely upon market competitiveness. The remaining 45% had market adjustments recommended with some being very minor but some being significantly below the market rate. At a minimum, a cost of living adjustment should be applied to each program to address internal cost increases year over year.

Program	Adjustment
Sleep Yoga	Increase from \$10/class to \$14 / class
Phonics Level 1/2	Increase from \$13/class to \$25 / class
Soccer 2: Skills and Scrimmage	Increase from \$15/class to \$16 / class
Drawing & Cartooning	Increase from \$17/class to \$19/class
Beginning Piano/Keyboard Lessons	Increase from \$18/class to \$30/class
Non-Resident Use of Soccer Field with Lights for 2 hour rental	Increase from \$180 to \$200

PROGRAM FEE ANALYSIS

Program	Adjustment
Line Dancing	Increase from \$2/class to \$3/class
Lego FUNGineering	Increase from \$22/class to \$40/class
Improv for Kids	Increase from \$23/class to \$40/class
Resident use of gymnasium for 3 hours – peak hours	Increase from \$260 to \$400
Winter Break Camp	Increase from \$4 / hour to \$9 /hour
Small picnic rental for Residents (<50, Saturday)	Increase from \$60 to \$90
Non-primetime 1 hour Adult Resident Tennis Court Rental	Increase from \$8 to \$15
Mommy/Daddy & Me Soccer Class	No change
Ballet Level 1	No change
Youth Basketball Elite	No change
Tai Chi Fitness 2	No change
Sports Center Drop in Sports Class	No change
Tot/Pre Soccer	No change
First Shots Basketball	No change
Tiny Stars Dance & Learn	No change
Tap & Ballet Combo Level 1	No change
Hip Hop & Break Dance	No change
Gymsters	No change
Satellites Tennis	No change
Volleyball Development Clinic	No change
Adult Beg/Int Tennis	No change
Adult Use, Artificial Turf (2 hour rental)	No change
Community Center Conference Room	No change

The assessment showed that of the programs reviewed, 55% warranted no change in fees based solely upon market competitiveness. The remaining 45% had market adjustments recommended with some being very minor but some being significantly below the market rate. At a minimum, a cost of living adjustment should be applied to each program to address internal cost increases year over year.

APPENDIX: PROGRAM FEE ANALYSIS

PROGRAM FEE ANALYSIS

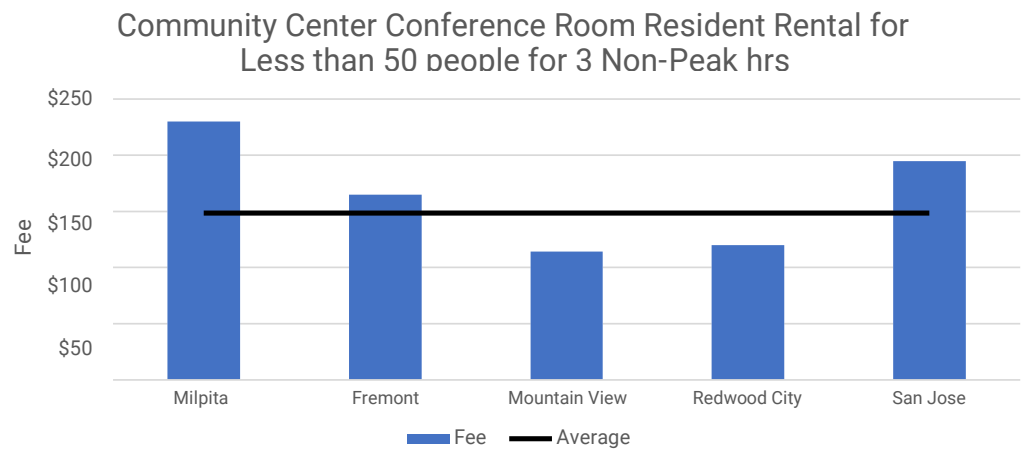
Appendix X – Detailed Fee Comparison by Program / Service Area

The following tables and graphs compare the City of Milpitas fees for selected programs and services (defined as those generally offered by multiple comparable agencies) to those charged by the comparative agencies. Where applicable, the fees are compared on both a per course and per hour basis to “equalize” programs (since many programs and classes had different number of classes or length of classes).

Adult Resident Use of Artificial Turf Field for Rec League Soccer Game (2 hr rental w/o lights)	Fee	Average	Notes	
Milpitas	\$ 300	\$ 148		
Fremont	\$ 136	\$ 148	\$136 for 2 hrs min fee	
Mountain View	\$ 144	\$ 148	Hourly	
Redwood City		\$ 148	n/a	
San Jose	\$ 165	\$ 148	App fee plus hourly	

PROGRAM FEE ANALYSIS

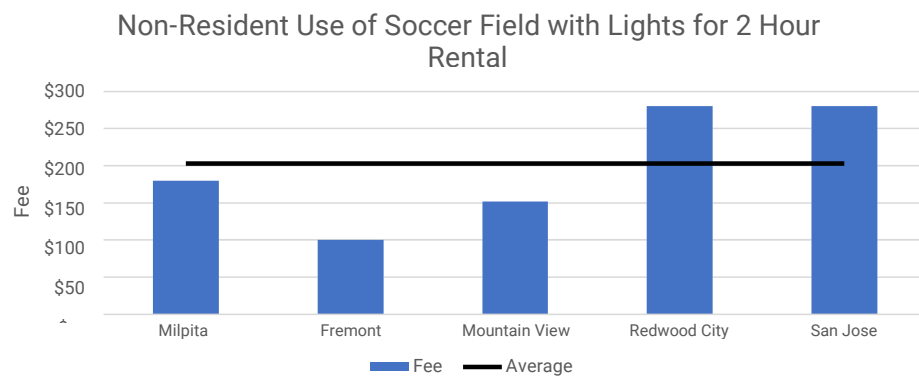
Community Center Conference Room Resident Rental for Less than 50 people for 3 non-peak hrs	Fee	Average	Notes	
Milpitas	\$ 230	\$ 149	app fee plus hourly	
Fremont	\$ 165	\$ 149	small meeting room - hourly	
Mountain View	\$ 114	\$ 149	hourly not including deposit	
Redwood City	\$ 120	\$ 149	hourly not including deposit	
San Jose	\$ 195	\$ 149	app fee plus hourly	



APPENDIX: PROGRAM FEE ANALYSIS

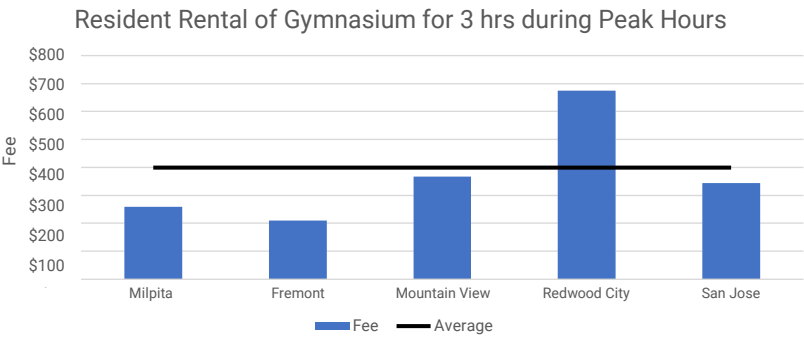
PROGRAM FEE ANALYSIS

Non-Resident Use of Soccer Field with Lights for 2 Hour Rental	Fee	Average	Notes		
Milpitas	\$ 180	\$ 203	app fee plus hourly		
Fremont	\$ 100	\$ 203	hourly		
Mountain View	\$ 152	\$ 203	hourly		
Redwood City	\$ 280	\$ 203	hourly for field and lights		
San Jose	\$ 280	\$ 203	app fee plus hourly for field and lights		



PROGRAM FEE ANALYSIS

Resident Rental of Gymnasium for 3 hrs during Peak Hours	Fee	Average	Notes		
Milpitas	\$ 260	\$ 399	App fee plus hourly		
Fremont	\$ 210	\$ 399	Hourly		
Mountain View	\$ 367	\$ 399	hourly+app fee		
Redwood City	\$ 675	\$ 399	Full gym hourly not including deposit		
San Jose	\$ 345	\$ 399	App fee plus hourly		



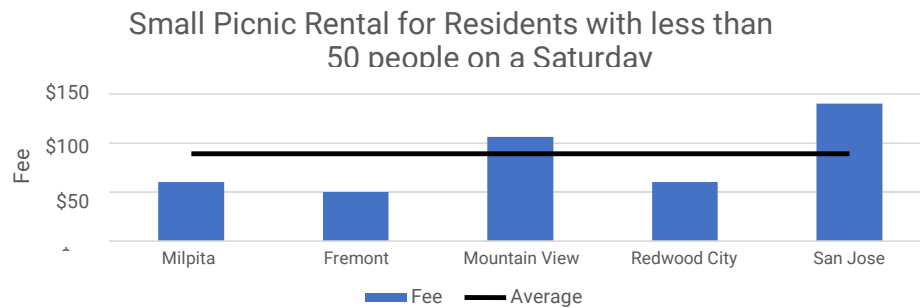
Local Comparatives:

School District – gym rental. Main gym is \$103 per hour (\$309 for three hours) or \$1,648 per day. Small gym is \$82.50 per hour (\$247.50 for three hours) or \$1,320 per day. These rates support the comparative with other municipalities that the City should increase the hourly rate for gymnasium rentals.

APPENDIX: PROGRAM FEE ANALYSIS

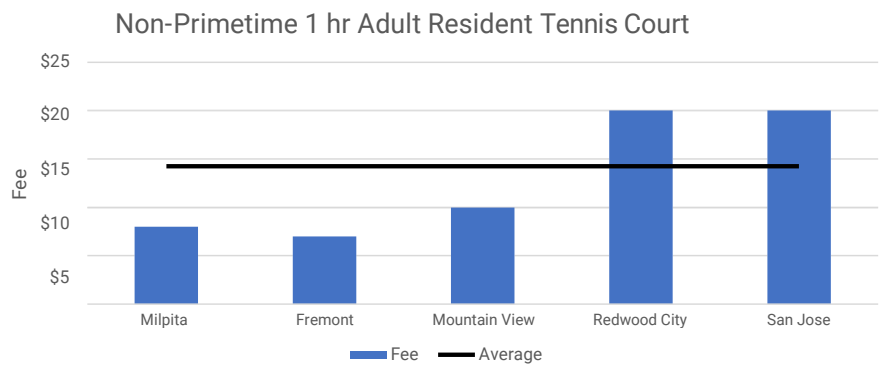
PROGRAM FEE ANALYSIS

Small Picnic Rental for Residents with less than 50 people on a Saturday	Fee	Average	Notes	
Milpitas	\$ 60	\$ 89	Daily rate	
Fremont	\$ 50	\$ 89	Rate for 2 tables, not-sheltered	
Mountain View	\$ 106	\$ 89	Capacity of 50	
Redwood City	\$ 60	\$ 89	rate for 3 tables	
San Jose	\$ 140	\$ 89	Daily weekend rate	



PROGRAM FEE ANALYSIS

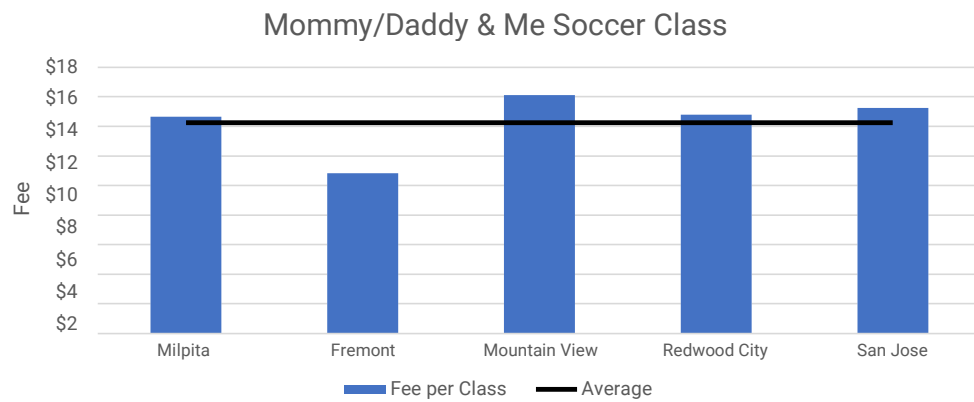
Non-Primetime 1 hr Adult Resident Tennis Court Rental	Fee	Average	Notes		
Milpitas	\$ 8	\$ 14	Only for court use		
Fremont	\$ 7	\$ 14	Only for court use		
Mountain View	\$ 10	\$ 14	Court Use without light		
Redwood City	\$ 20	\$ 14	Only for court use		
San Jose	\$ 20	\$ 14	Only for court use		



APPENDIX: PROGRAM FEE ANALYSIS

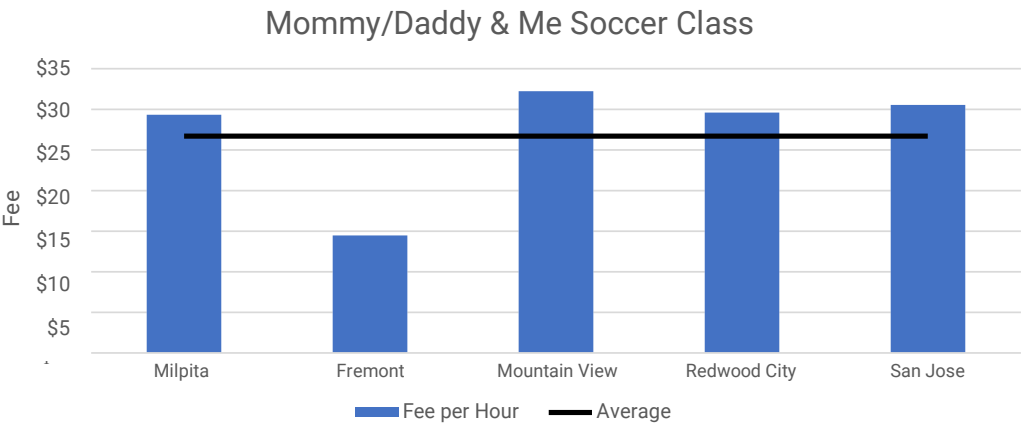
PROGRAM FEE ANALYSIS

Mommy/Daddy & Me Soccer Class	Fee per Class	Average	Length of Class	# of Classes	Cost per Session
Milpitas	\$ 15	\$ 14	0.50	6.00	\$ 88
Fremont	\$ 11	\$ 14	0.75	6.00	\$ 65
Mountain View	\$ 16	\$ 14	0.50	8.00	\$ 129
Redwood City	\$ 15	\$ 14	0.50	5.00	\$ 74
San Jose	\$ 15	\$ 14	0.50	8.00	\$ 122



PROGRAM FEE ANALYSIS

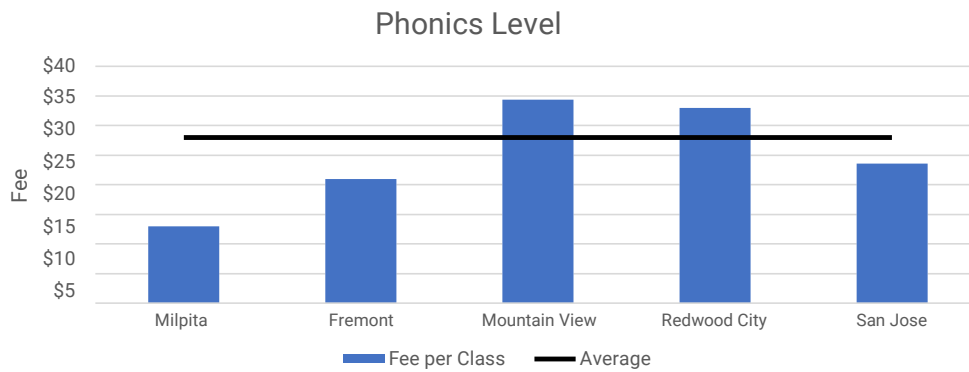
Mommy/Daddy & Me Soccer Class	Fee per Hour	Average
Milpitas	\$ 29	\$ 27
Fremont	\$ 14	\$ 27
Mountain View	\$ 32	\$ 27
Redwood City	\$ 30	\$ 27
San Jose	\$ 31	\$ 27



APPENDIX: PROGRAM FEE ANALYSIS

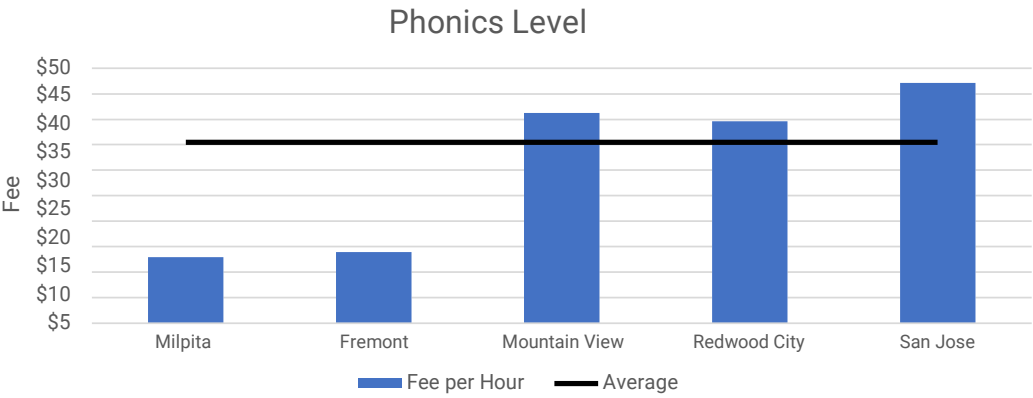
PROGRAM FEE ANALYSIS

Phonics Level 1/2	Fee per Class	Average	Length of Class	# of Classes	Cost per Session
Milpitas	\$ 13	\$ 28	1.00	10.00	\$ 130
Fremont	\$ 21	\$ 28	1.50	9.00	\$ 189
Mountain View	\$ 34	\$ 28	0.83	6.00	\$ 206
Redwood City	\$ 33	\$ 28	0.83	6.00	\$ 198
San Jose	\$ 24	\$ 28	0.50	7.00	\$ 165



PROGRAM FEE ANALYSIS

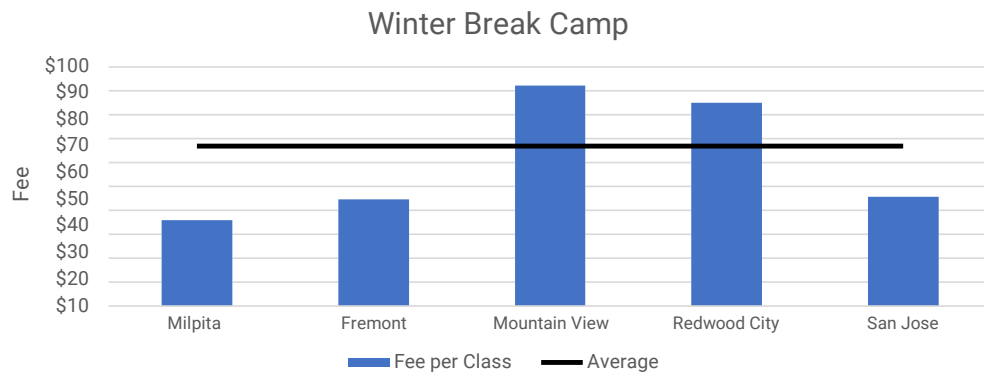
Phonics Level 1/2	Fee per Hour	Average
Milpitas	\$ 13	\$ 35
Fremont	\$ 14	\$ 35
Mountain View	\$ 41	\$ 35
Redwood City	\$ 40	\$ 35
San Jose	\$ 47	\$ 35



APPENDIX: PROGRAM FEE ANALYSIS

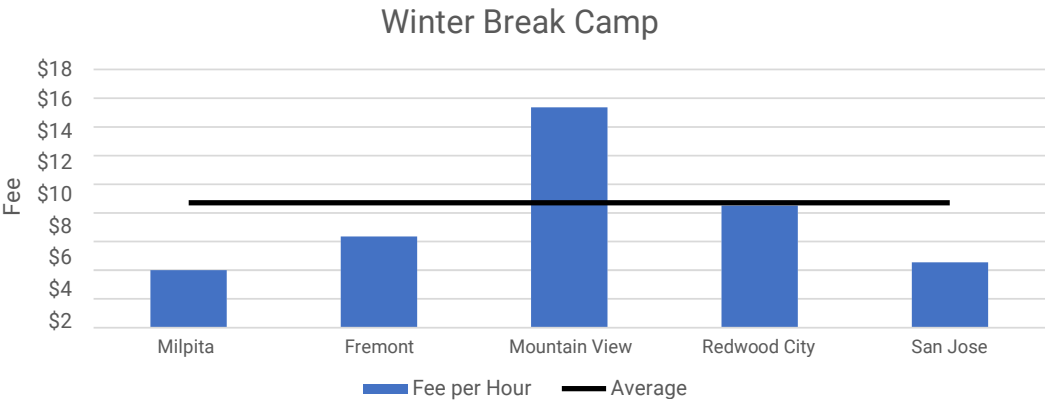
PROGRAM FEE ANALYSIS

Winter Break Camp	Fee per Class	Average	Length of Class	# of Classes	Cost per Session
Milpitas	\$ 36	\$ 67	9.00	3.00	\$ 108
Fremont	\$ 45	\$ 67	7.00	2.00	\$ 89
Mountain View	\$ 92	\$ 67	6.00	4.00	\$ 369
Redwood City	\$ 85	\$ 67	10.00	5.00	\$ 425
San Jose	\$ 46	\$ 67	10.00	4.00	\$ 183



PROGRAM FEE ANALYSIS

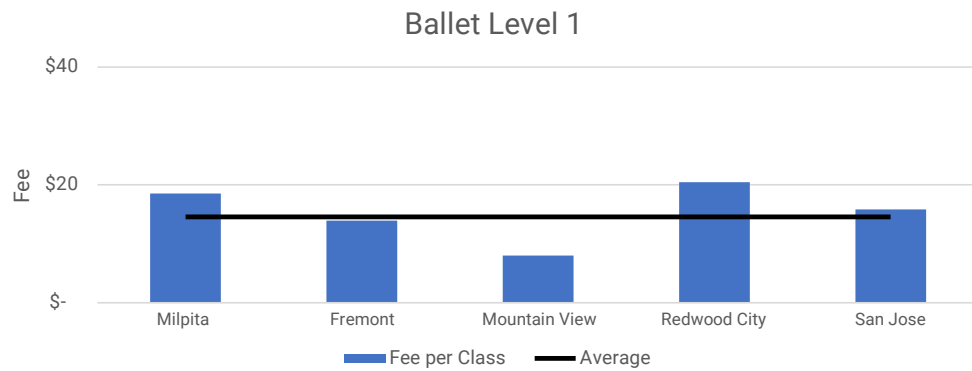
Winter Break Camp	Fee per Hour	Average
Milpitas	\$ 4	\$ 9
Fremont	\$ 6	\$ 9
Mountain View	\$ 15	\$ 9
Redwood City	\$ 9	\$ 9
San Jose	\$ 5	\$ 9



APPENDIX: PROGRAM FEE ANALYSIS

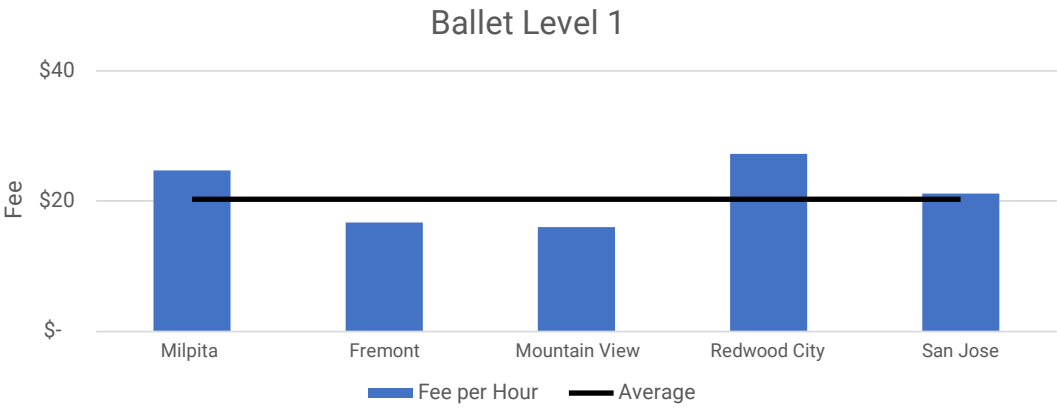
PROGRAM FEE ANALYSIS

Ballet Level 1	Fee per Class	Average	Length of Class	# of Classes	Cost per Session
Milpitas	\$ 19	\$ 15	0.75	7.00	\$ 130
Fremont	\$ 14	\$ 15	0.83	9.00	\$ 125
Mountain View	\$ 8	\$ 15	0.50	8.00	\$ 64
Redwood City	\$ 20	\$ 15	0.75	11.00	\$ 225
San Jose	\$ 16	\$ 15	0.75	8.00	\$ 127



PROGRAM FEE ANALYSIS

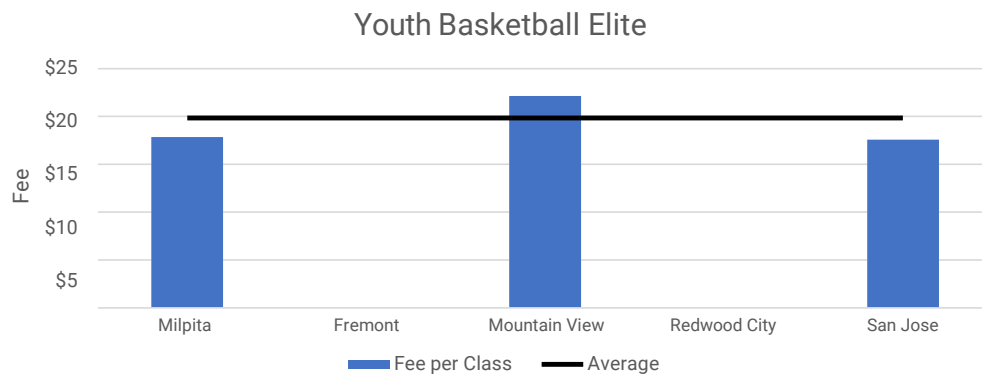
Ballet Level 1	Fee per Hour	Average
Milpitas	\$ 25	\$ 20
Fremont	\$ 17	\$ 20
Mountain View	\$ 16	\$ 20
Redwood City	\$ 27	\$ 20
San Jose	\$ 21	\$ 20



APPENDIX: PROGRAM FEE ANALYSIS

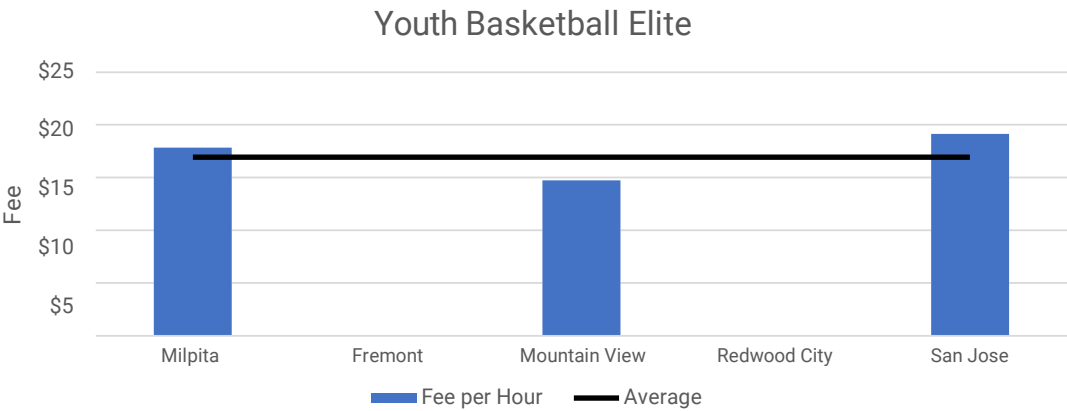
PROGRAM FEE ANALYSIS

Youth Basketball Elite	Fee per Class	Average	Length of Class	# of Classes	Cost per Session
Milpitas	\$ 18	\$ 20	1.00	7.00	\$ 125
Fremont		\$ 20	n/a		
Mountain View	\$ 22	\$ 20	1.50	9.00	\$ 199
Redwood City		\$ 20	n/a		
San Jose	\$ 18	\$ 20	0.92	9.00	\$ 158



PROGRAM FEE ANALYSIS

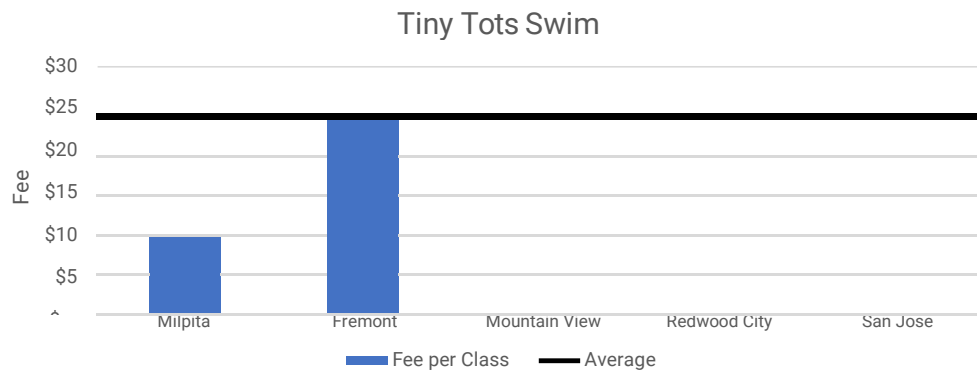
Youth Basketball Elite	Fee per Hour	Average
Milpitas	\$ 18	\$ 17
Fremont		\$ 17
Mountain View	\$ 15	\$ 17
Redwood City		\$ 17
San Jose	\$ 19	\$ 17



APPENDIX: PROGRAM FEE ANALYSIS

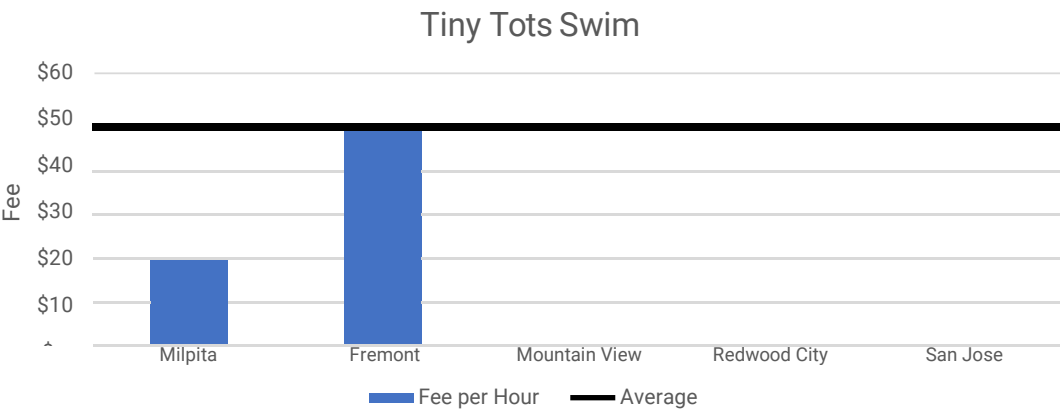
PROGRAM FEE ANALYSIS

Tiny Tots Swim	Fee per Class	Average	Length of Class	# of Classes	Cost per Session
Milpitas	\$ 10	\$ 25	0.50	4.00	\$ 38
Fremont	\$ 25	\$ 25	0.50	10.00	\$ 250
Mountain View		\$ 25	n/a		
Redwood City		\$ 25	n/a		
San Jose		\$ 25	n/a		



PROGRAM FEE ANALYSIS

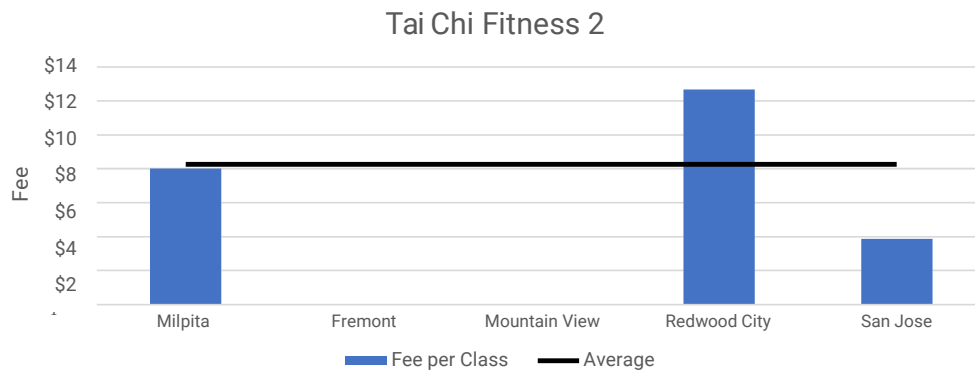
Tiny Tots Swim	Fee per Hour	Average
Milpitas	\$ 19	\$ 50
Fremont	\$ 50	\$ 50
Mountain View		\$ 50
Redwood City		\$ 50
San Jose		\$ 50



APPENDIX: PROGRAM FEE ANALYSIS

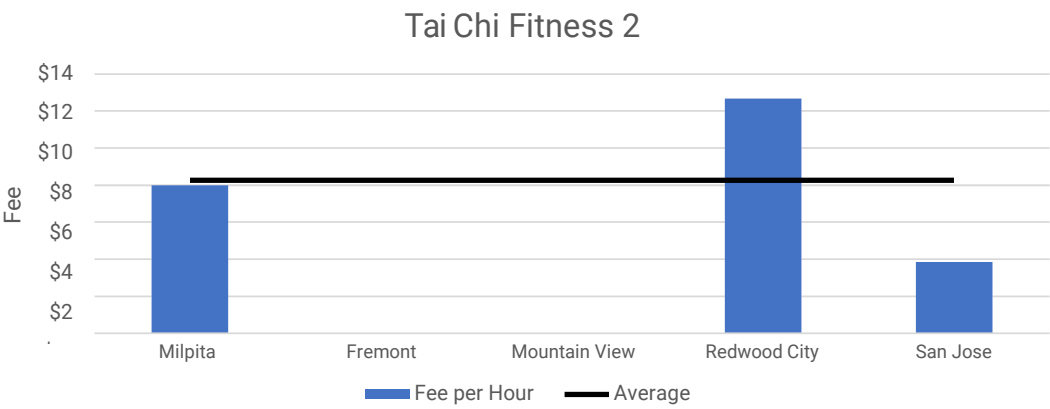
PROGRAM FEE ANALYSIS

Tai Chi Fitness 2	Fee per Class	Average	Length of Class	# of Classes	Cost per Session
Milpitas	\$ 8	\$ 8	1.00	22.00	\$ 176
Fremont		\$ 8	n/a		
Mountain View		\$ 8	n/a		
Redwood City	\$ 13	\$ 8	1.00	9.00	\$ 114
San Jose	\$ 4	\$ 8	1.00	7.00	\$ 27



PROGRAM FEE ANALYSIS

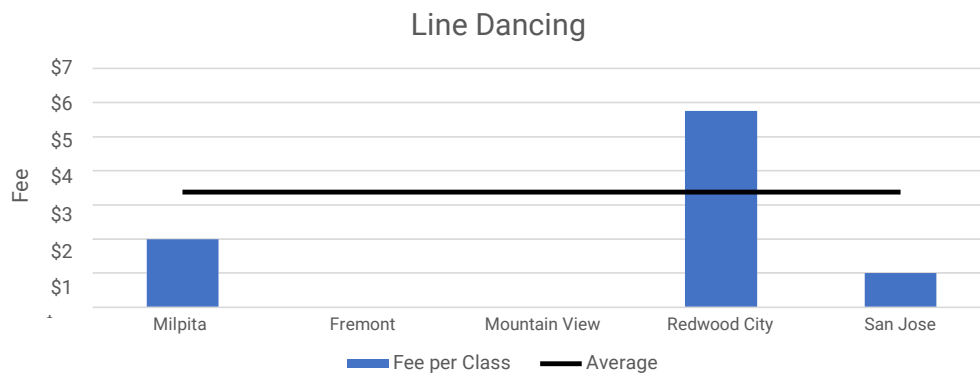
Tai Chi Fitness 2	Fee per Hour	Average
Milpitas	\$ 8	\$ 8
Fremont		\$ 8
Mountain View		\$ 8
Redwood City	\$ 13	\$ 8
San Jose	\$ 4	\$ 8



APPENDIX: PROGRAM FEE ANALYSIS

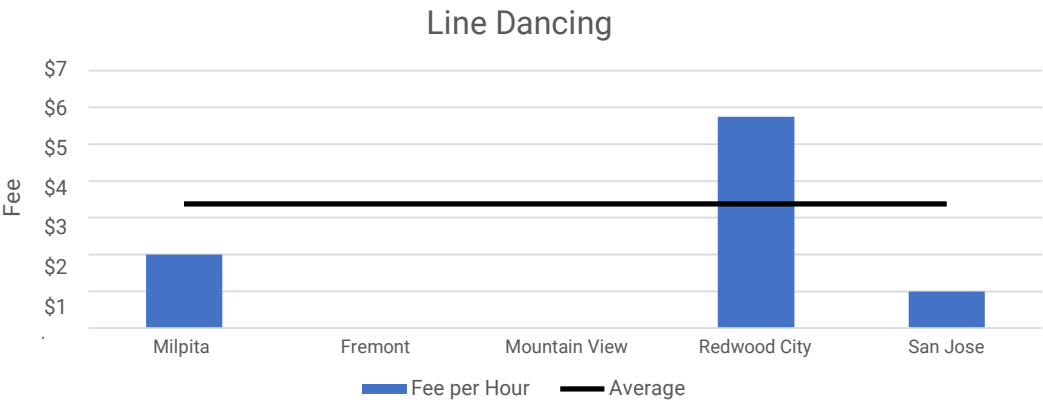
PROGRAM FEE ANALYSIS

Line Dancing	Fee per Class	Average	Length of Class	# of Classes	Cost per Session
Milpitas	\$ 2	\$ 3	1.00	8.00	\$ 16
Fremont		\$ 3	n/a		
Mountain View		\$ 3	n/a		
Redwood City	\$ 6	\$ 3	1.00	8.00	\$ 46
San Jose	\$ 1	\$ 3	1.00	8.00	\$ 8



PROGRAM FEE ANALYSIS

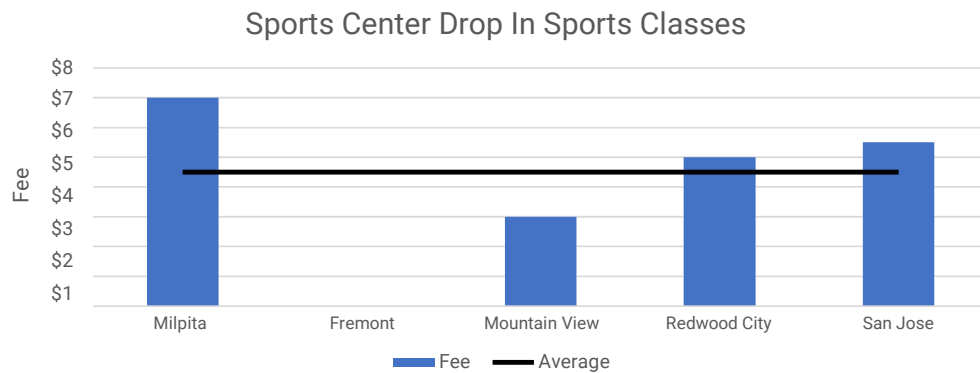
Line Dancing	Fee per Hour	Average
Milpitas	\$ 2	\$ 3
Fremont		\$ 3
Mountain View		\$ 3
Redwood City	\$ 6	\$ 3
San Jose	\$ 1	\$ 3



APPENDIX: PROGRAM FEE ANALYSIS

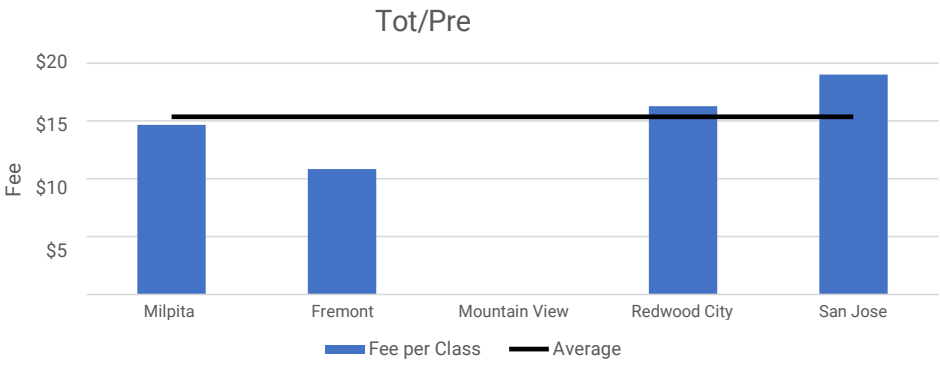
PROGRAM FEE ANALYSIS

Sports Center Drop in Sports Class	Fee	Average			
Milpitas	\$ 7	\$ 4.5			
Fremont		\$ 4.5	n/a		
Mountain View	\$ 3	\$ 4.5			
Redwood City	\$ 5	\$ 4.5	adult		
San Jose	\$ 5.5	\$ 4.5			



PROGRAM FEE ANALYSIS

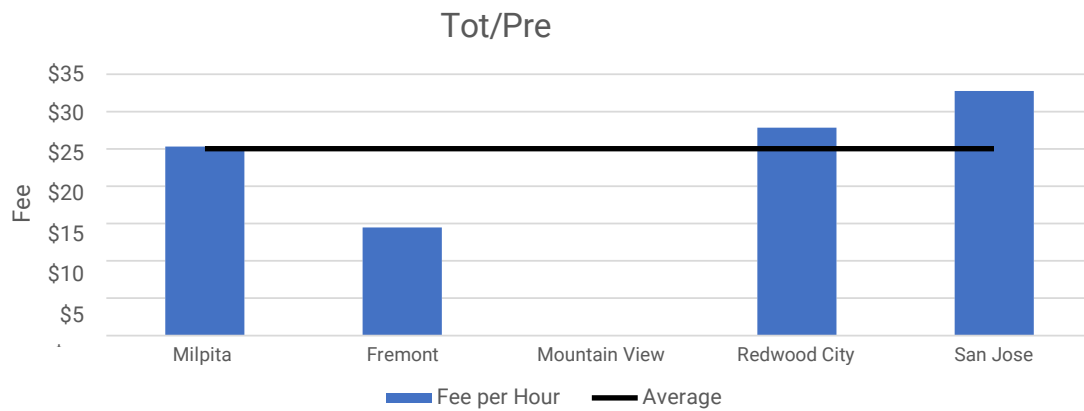
Tot/Pre Soccer	Fee per Class	Average	Length of Class	# of Classes	Cost per Session
Milpitas	\$ 15	\$ 15	0.58	6.00	\$ 88
Fremont	\$ 11	\$ 15	0.75	6.00	\$ 65
Mountain View		\$ 15	-	-	\$ -
Redwood City	\$ 16	\$ 15	0.58	8.00	\$ 130
San Jose	\$ 19	\$ 15	0.58	5.00	\$ 95



APPENDIX: PROGRAM FEE ANALYSIS

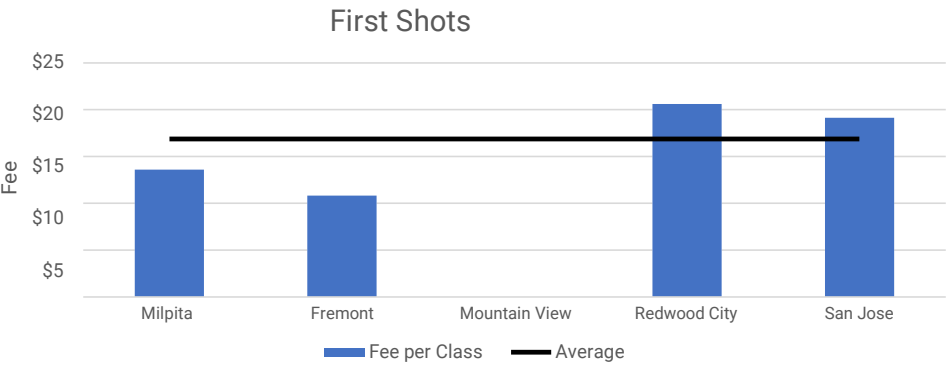
PROGRAM FEE ANALYSIS

Tot/Pre Soccer	Fee per Hour	Average
Milpitas	\$ 25	\$ 25
Fremont	\$ 14	\$ 25
Mountain View		\$ 25
Redwood City	\$ 28	\$ 25
San Jose	\$ 33	\$ 25



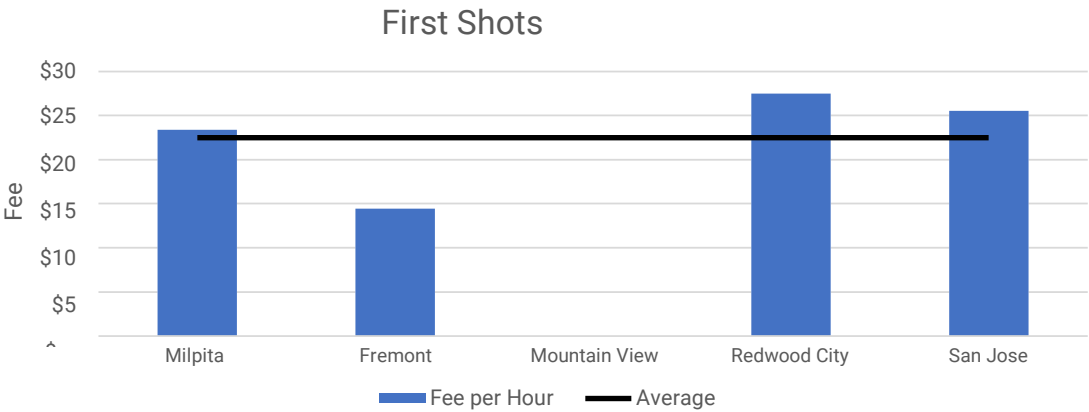
PROGRAM FEE ANALYSIS

First Shots Basketball	Fee per Class	Average	Length of Class	# of Classes	Cost per Session
Milpitas	\$ 14	\$ 17	0.58	7.00	\$ 95
Fremont	\$ 11	\$ 17	0.75	6.00	\$ 65
Mountain View		\$ 17	-	-	\$ -
Redwood City	\$ 21	\$ 17	0.75	10.00	\$ 206
San Jose	\$ 19	\$ 17	0.75	6.00	\$ 115



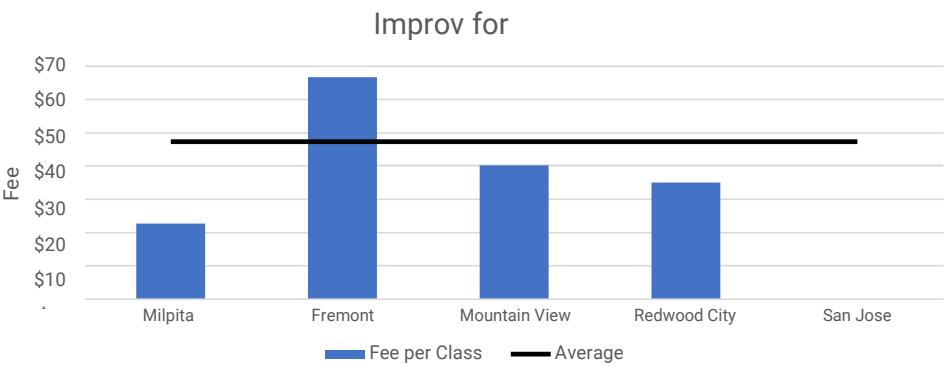
PROGRAM FEE ANALYSIS

First Shots Basketball	Fee per Hour	Average
Milpitas	\$ 23	\$ 22
Fremont	\$ 14	\$ 22
Mountain View		\$ 22
Redwood City	\$ 27	\$ 22
San Jose	\$ 26	\$ 22



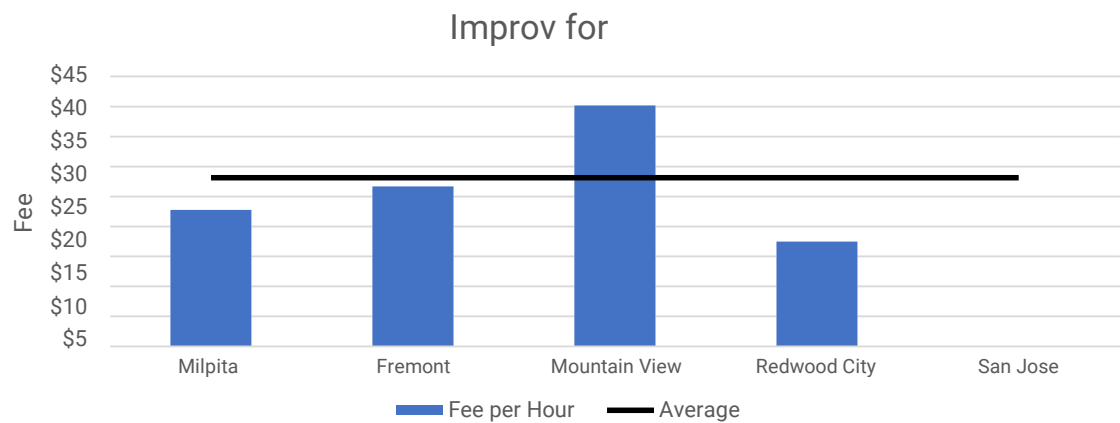
PROGRAM FEE ANALYSIS

Improv for Kids	Fee per Class	Average	Length of Class	# of Classes	Cost per Session
Milpitas	\$ 23	\$ 47	1.00	7.00	\$ 159
Fremont	\$ 67	\$ 47	2.50	3.00	\$ 200
Mountain View	\$ 40	\$ 47	1.00	5.00	\$ 201
Redwood City	\$ 35	\$ 47	2.00	6.00	\$ 210
San Jose		\$ 47	-	-	\$ -



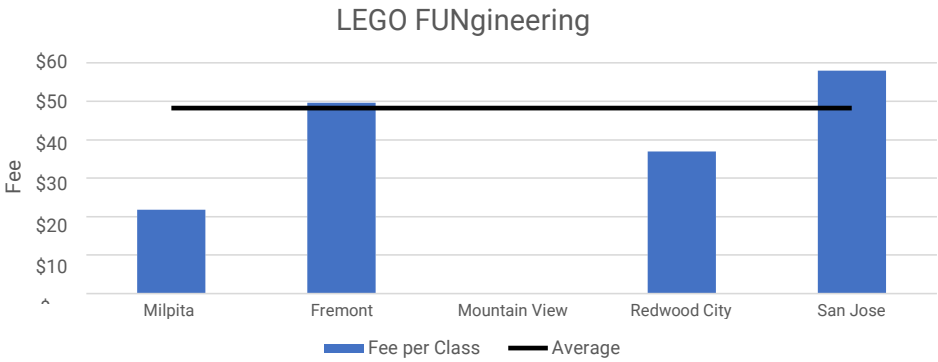
PROGRAM FEE ANALYSIS

Improv for Kids	Fee per Hour	Average
Milpitas	\$ 23	\$ 28
Fremont	\$ 27	\$ 28
Mountain View	\$ 40	\$ 28
Redwood City	\$ 18	\$ 28
San Jose		\$ 28



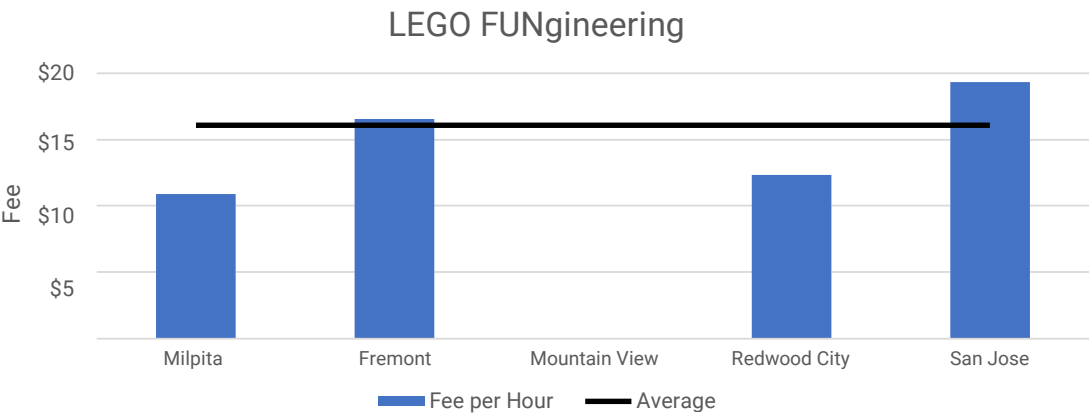
PROGRAM FEE ANALYSIS

LEGO FUNgineering	Fee per Class	Average	Length of Class	# of Classes	Cost per Session
Milpitas	\$ 22	\$ 48	2.00	5.00	\$ 109
Fremont	\$ 50	\$ 48	3.00	3.00	\$ 149
Mountain View		\$ 48	-	-	\$ -
Redwood City	\$ 37	\$ 48	3.00	5.00	\$ 185
San Jose	\$ 58	\$ 48	3.00	1.00	\$ 58



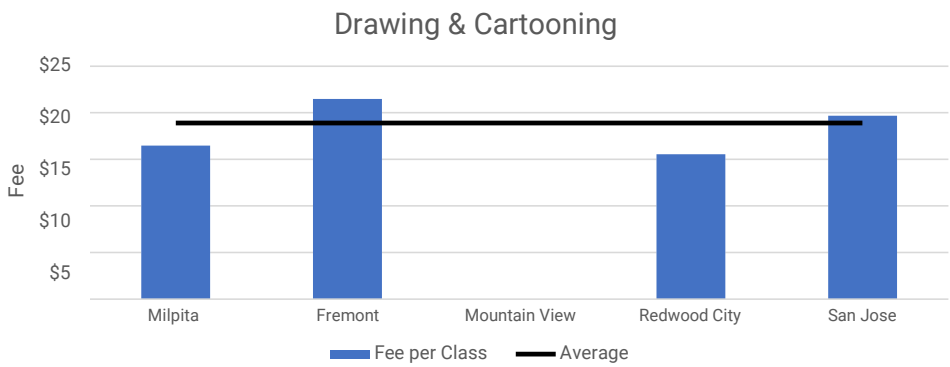
PROGRAM FEE ANALYSIS

LEGO FUNgineering	Fee per Hour	Average
Milpitas	\$ 11	\$ 16
Fremont	\$ 17	\$ 16
Mountain View		\$ 16
Redwood City	\$ 12	\$ 16
San Jose	\$ 19	\$ 16



PROGRAM FEE ANALYSIS

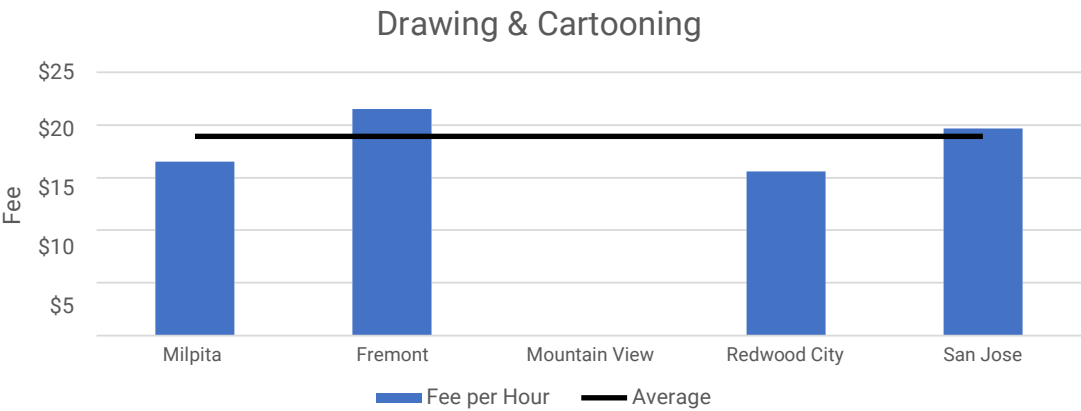
Drawing & Cartooning	Fee per Class	Average	Length of Class	# of Classes	Cost per Session
Milpitas	\$ 17	\$ 19	1.00	6.00	\$ 99
Fremont	\$ 22	\$ 19	1.00	6.00	\$ 129
Mountain View		\$ 19	-	-	\$ -
Redwood City	\$ 16	\$ 19	1.00	11.00	\$ 171
San Jose	\$ 20	\$ 19	1.00	6.00	\$ 118



APPENDIX: PROGRAM FEE ANALYSIS

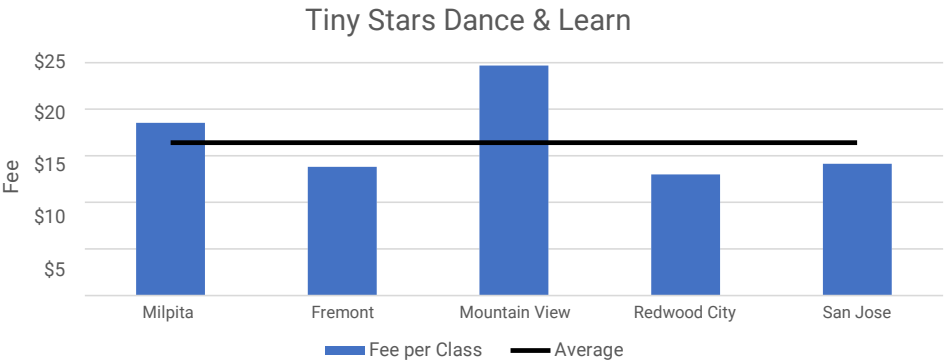
PROGRAM FEE ANALYSIS

Drawing & Cartooning	Fee per Hour	Average
Milpitas	\$ 17	\$ 19
Fremont	\$ 22	\$ 19
Mountain View		\$ 19
Redwood City	\$ 16	\$ 19
San Jose	\$ 20	\$ 19



PROGRAM FEE ANALYSIS

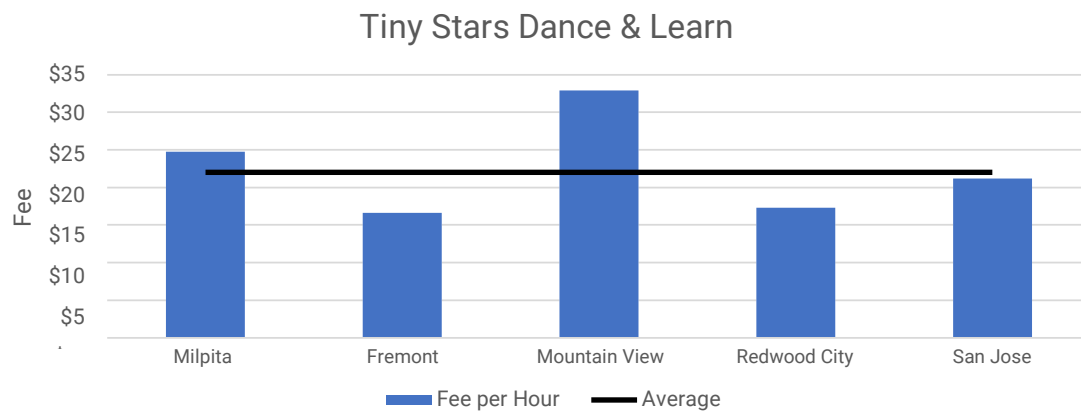
Tiny Stars Dance & Learn	Fee per Class	Average	Length of Class	# of Classes	Cost per Session
Milpitas	\$ 19	\$ 16	0.75	7.00	\$ 130
Fremont	\$ 14	\$ 16	0.83	5.00	\$ 69
Mountain View	\$ 25	\$ 16	0.75	10.00	\$ 247
Redwood City	\$ 13	\$ 16	0.75	6.00	\$ 78
San Jose	\$ 14	\$ 16	0.67	8.00	\$ 113



APPENDIX: PROGRAM FEE ANALYSIS

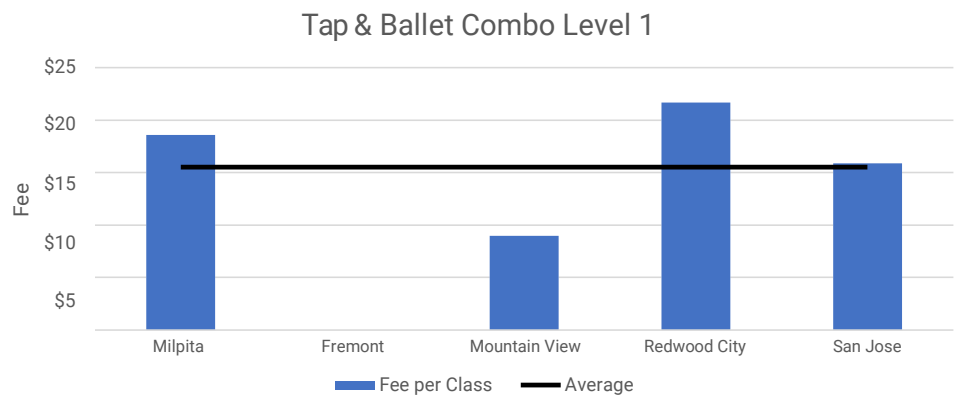
PROGRAM FEE ANALYSIS

Tiny Stars Dance & Learn	Fee per Hour	Average
Milpitas	\$ 25	\$ 22
Fremont	\$ 17	\$ 22
Mountain View	\$ 33	\$ 22
Redwood City	\$ 17	\$ 22
San Jose	\$ 21	\$ 22



PROGRAM FEE ANALYSIS

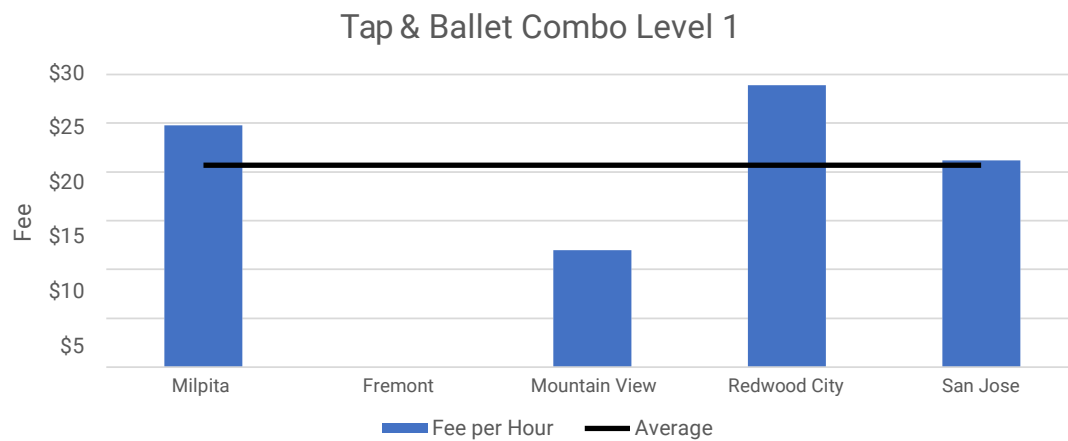
Tap & Ballet Combo Level 1	Fee per Class	Average	Length of Class	# of Classes	Cost per Session
Milpitas	\$ 19	\$ 16	0.75	7.00	\$ 130
Fremont		\$ 16	-	-	\$ -
Mountain View	\$ 9	\$ 16	0.75	8.00	\$ 72
Redwood City	\$ 22	\$ 16	0.75	9.00	\$ 195
San Jose	\$ 16	\$ 16	0.75	8.00	\$ 127



APPENDIX: PROGRAM FEE ANALYSIS

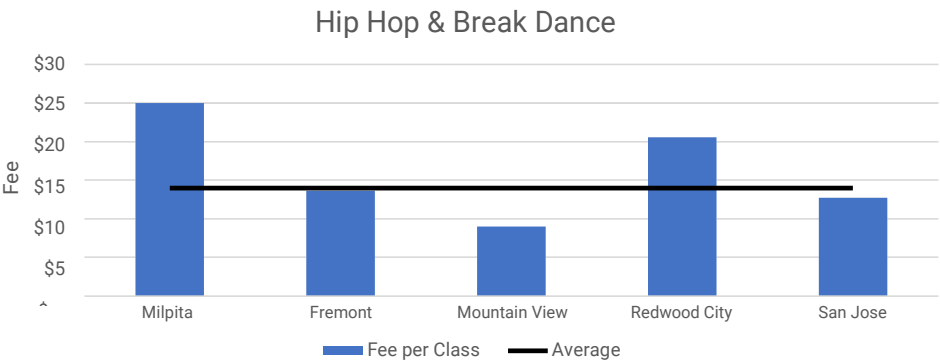
PROGRAM FEE ANALYSIS

Tap & Ballet Combo Level 1	Fee per Hour	Average
Milpitas	\$ 25	\$ 21
Fremont		\$ 21
Mountain View	\$ 12	\$ 21
Redwood City	\$ 29	\$ 21
San Jose	\$ 21	\$ 21



PROGRAM FEE ANALYSIS

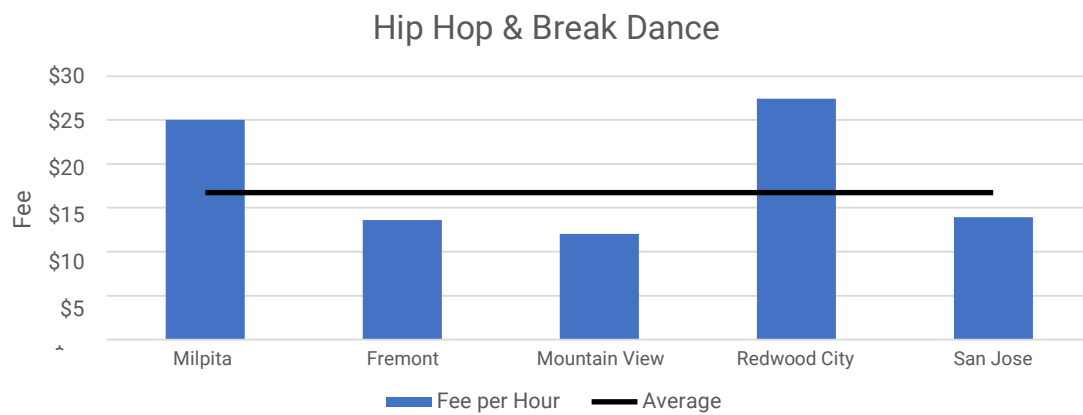
Hip Hop & Break Dance	Fee per Class	Average	Length of Class	# of Classes	Cost per Session
Milpitas	\$ 25	\$ 14	1.00	8.00	\$ 200
Fremont	\$ 14	\$ 14	1.00	8.00	\$ 109
Mountain View	\$ 9	\$ 14	0.75	8.00	\$ 72
Redwood City	\$ 21	\$ 14	0.75	9.00	\$ 185
San Jose	\$ 13	\$ 14	0.92	8.00	\$ 102



APPENDIX: PROGRAM FEE ANALYSIS

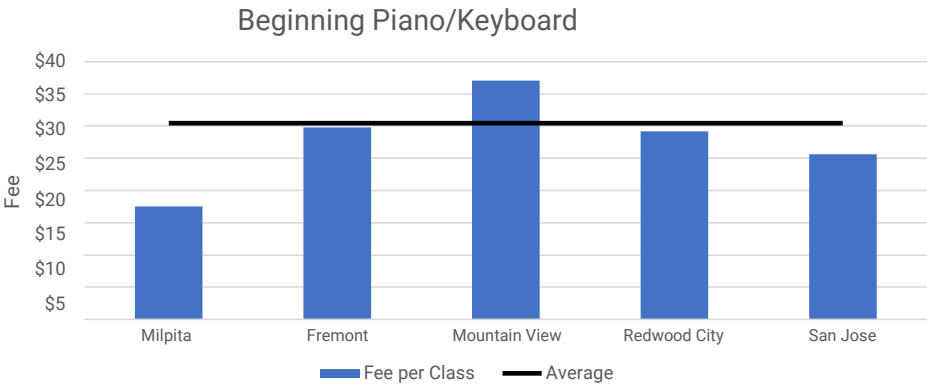
PROGRAM FEE ANALYSIS

Hip Hop & Break Dance	Fee per Hour	Average
Milpitas	\$ 25	\$ 17
Fremont	\$ 14	\$ 17
Mountain View	\$ 12	\$ 17
Redwood City	\$ 27	\$ 17
San Jose	\$ 14	\$ 17



PROGRAM FEE ANALYSIS

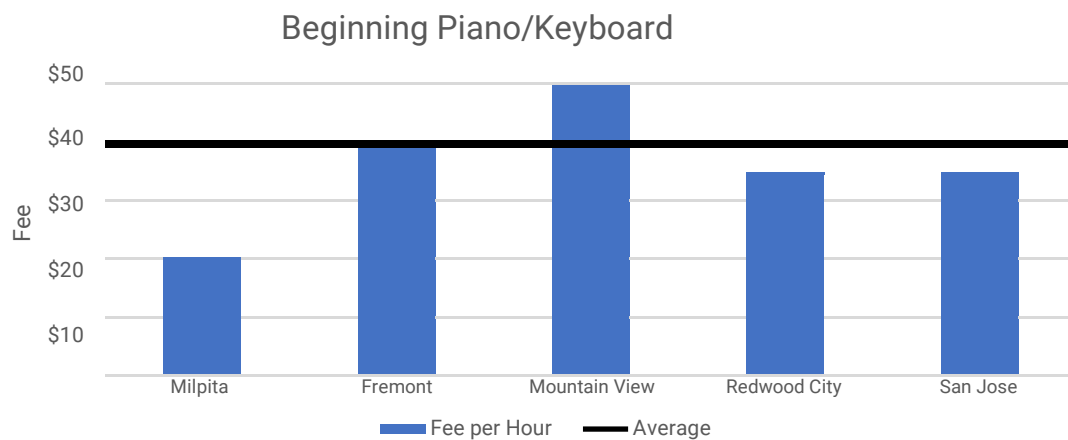
Beginning Piano/Keyboard Lessons	Fee per Class	Average	Length of Class	# of Classes	Cost per Session
Milpitas	\$ 18	\$ 30	0.83	12.00	\$ 210
Fremont	\$ 30	\$ 30	0.75	6.00	\$ 179
Mountain View	\$ 37	\$ 30	0.75	10.00	\$ 371
Redwood City	\$ 29	\$ 30	0.83	9.00	\$ 263
San Jose	\$ 26	\$ 30	0.75	6.00	\$ 154



APPENDIX: PROGRAM FEE ANALYSIS

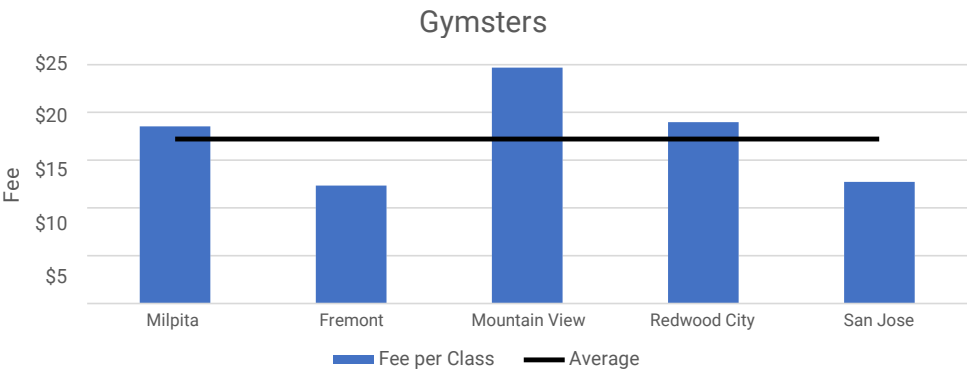
PROGRAM FEE ANALYSIS

Beginning Piano/Keyboard Lessons	Fee per Hour	Average
Milpitas	\$ 21	\$ 40
Fremont	\$ 40	\$ 40
Mountain View	\$ 49	\$ 40
Redwood City	\$ 35	\$ 40
San Jose	\$ 34	\$ 40



PROGRAM FEE ANALYSIS

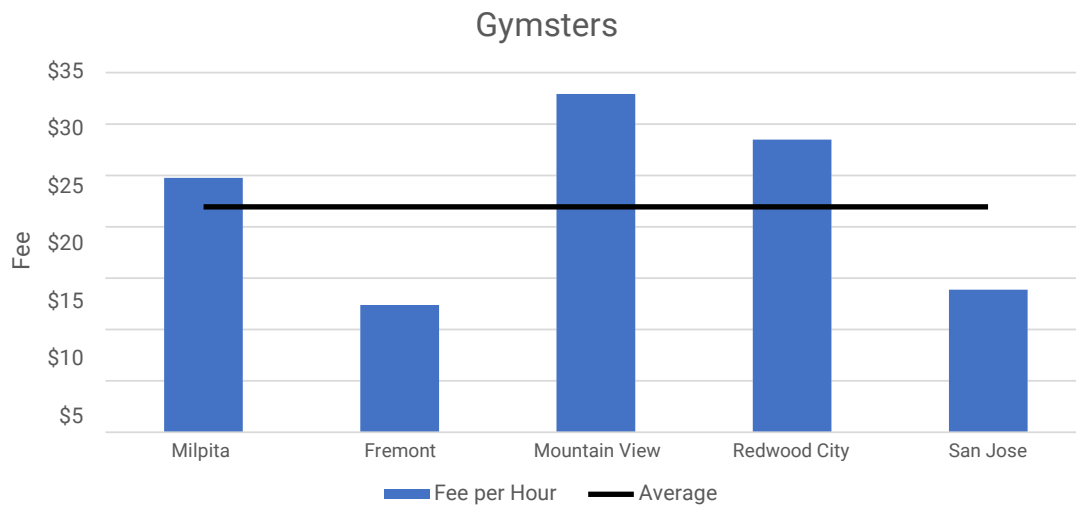
Gymsters	Fee per Class	Average	Length of Class	# of Classes	Cost per Session
Milpitas	\$ 19	\$ 17	0.75	7.00	\$ 130
Fremont	\$ 12	\$ 17	1.00	8.00	\$ 99
Mountain View	\$ 25	\$ 17	0.75	10.00	\$ 247
Redwood City	\$ 19	\$ 17	0.67	6.00	\$ 114
San Jose	\$ 13	\$ 17	0.92	8.00	\$ 102



APPENDIX: PROGRAM FEE ANALYSIS

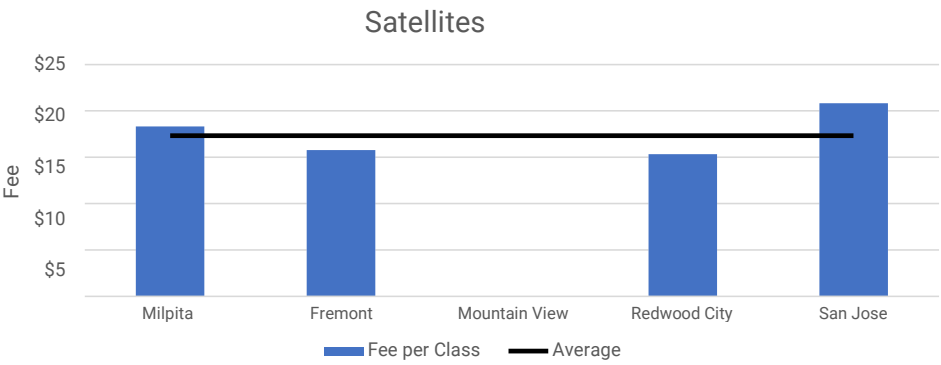
PROGRAM FEE ANALYSIS

Gymsters	Fee per Hour	Average
Milpitas	\$ 25	\$ 22
Fremont	\$ 12	\$ 22
Mountain View	\$ 33	\$ 22
Redwood City	\$ 29	\$ 22
San Jose	\$ 14	\$ 22



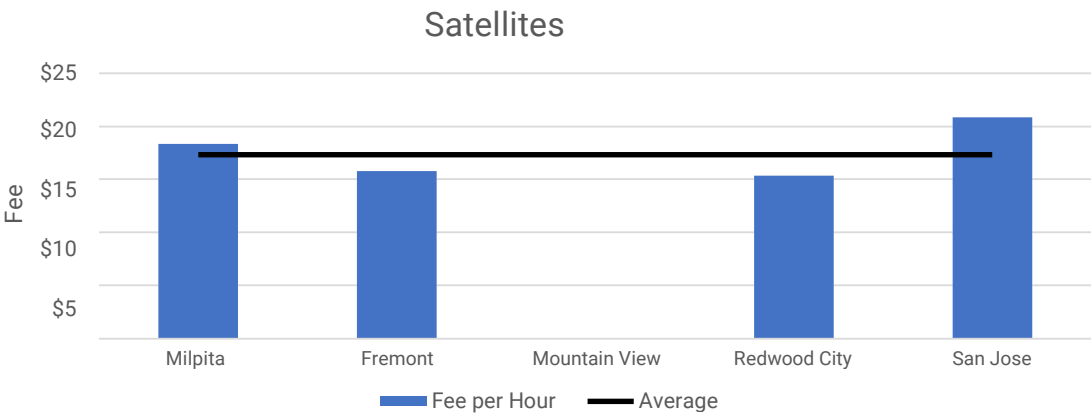
PROGRAM FEE ANALYSIS

Satellites Tennis	Fee per Class	Average	Length of Class	# of Classes	Cost per Session
Milpitas	\$ 18	\$ 17	1.00	6.00	\$ 110
Fremont	\$ 16	\$ 17	1.00	5.00	\$ 79
Mountain View		\$ 17	-	-	\$ -
Redwood City	\$ 15	\$ 17	1.00	6.00	\$ 92
San Jose	\$ 21	\$ 17	1.00	6.00	\$ 125



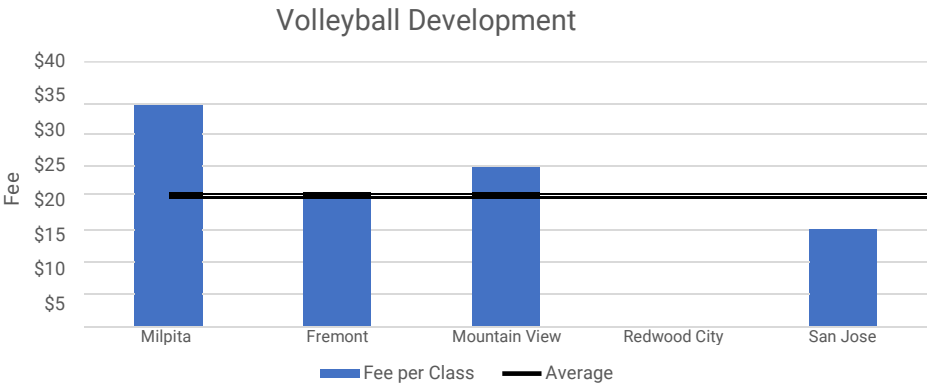
PROGRAM FEE ANALYSIS

Satellites Tennis	Fee per Hour	Average
Milpitas	\$ 18	\$ 17
Fremont	\$ 16	\$ 17
Mountain View		\$ 17
Redwood City	\$ 15	\$ 17
San Jose	\$ 21	\$ 17



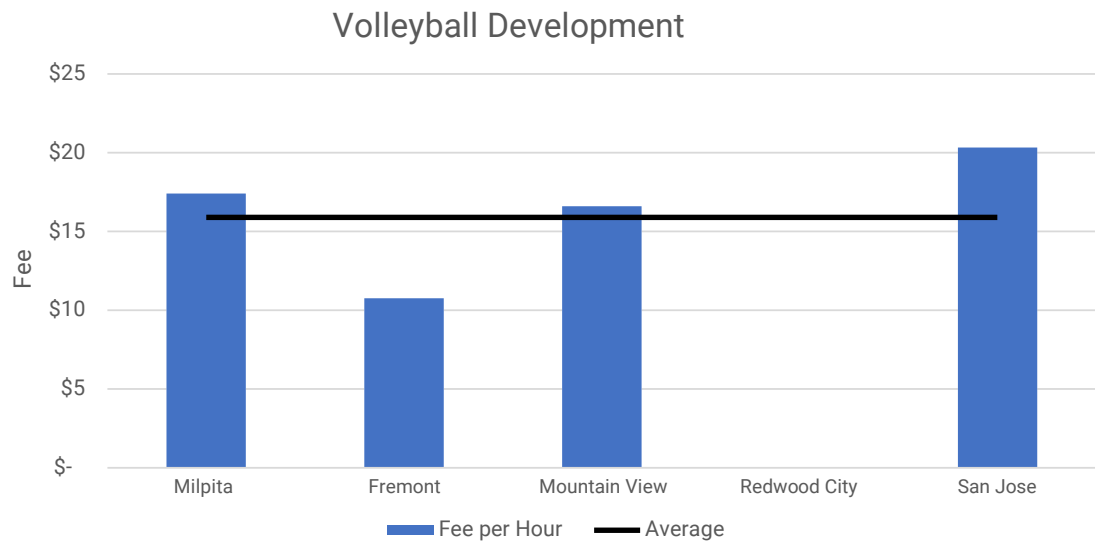
PROGRAM FEE ANALYSIS

Volleyball Development Clinic	Fee per Class	Average	Length of Class	# of Classes	Cost per Session
Milpitas	\$ 35	\$ 21	2.00	6.00	\$ 209
Fremont	\$ 22	\$ 21	2.00	6.00	\$ 129
Mountain View	\$ 25	\$ 21	1.50	8.00	\$ 199
Redwood City		\$ 21	-	-	\$ -
San Jose	\$ 15	\$ 21	0.75	8.00	\$ 122



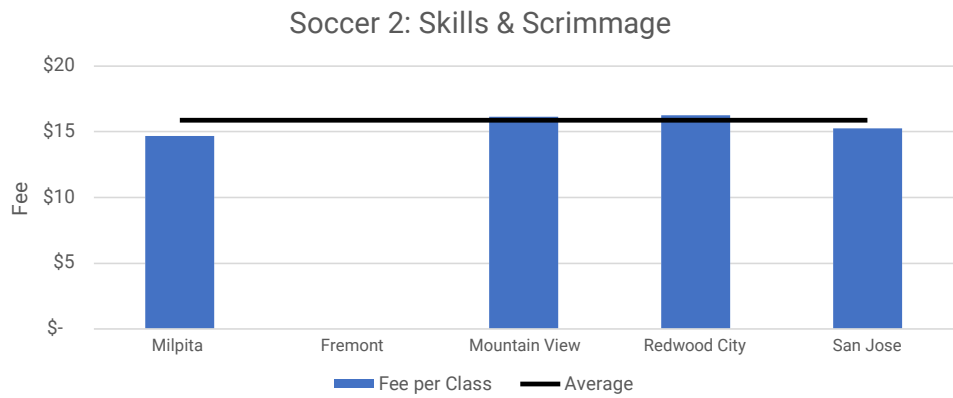
PROGRAM FEE ANALYSIS

Volleyball Development Clinic	Fee per Hour	Average
Milpitas	\$ 17	\$ 16
Fremont	\$ 11	\$ 16
Mountain View	\$ 17	\$ 16
Redwood City		\$ 16
San Jose	\$ 20	\$ 16



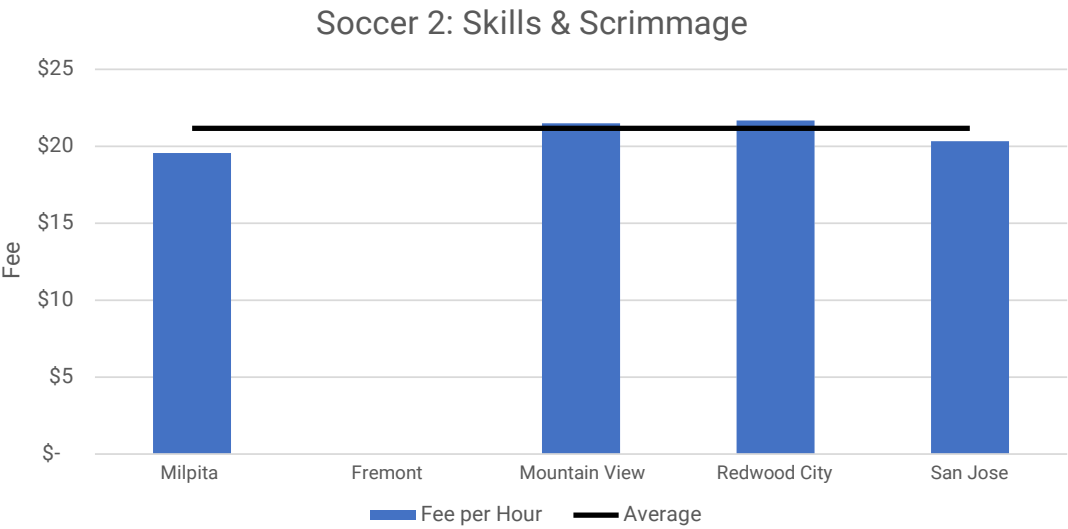
PROGRAM FEE ANALYSIS

Soccer 2: Skills & Scrimmage	Fee per Class	Average	Length of Class	# of Classes	Cost per Session
Milpitas	\$ 15	\$ 16	0.75	6.00	\$ 88
Fremont		\$ 16	-	-	\$ -
Mountain View	\$ 16	\$ 16	0.75	8.00	\$ 129
Redwood City	\$ 16	\$ 16	0.75	8.00	\$ 130
San Jose	\$ 15	\$ 16	0.75	8.00	\$ 122



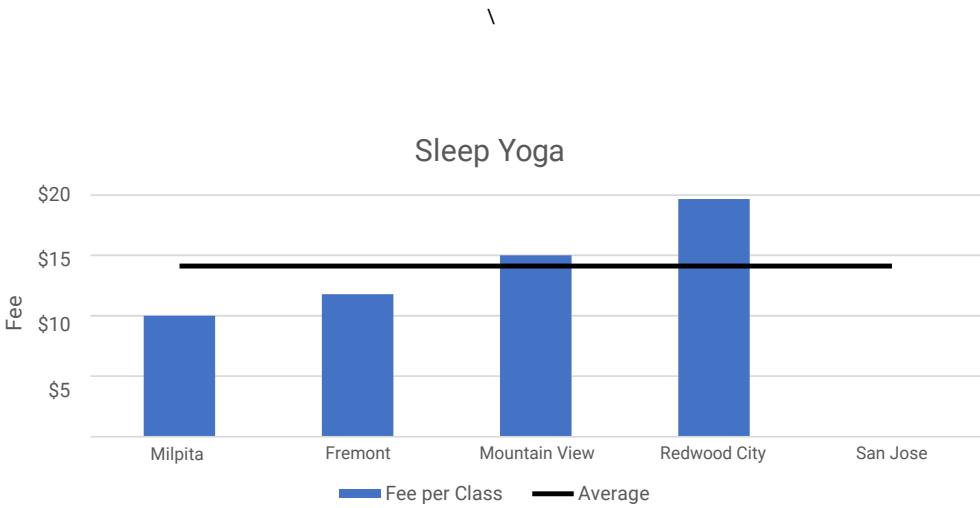
PROGRAM FEE ANALYSIS

Soccer 2: Skills & Scrimmage	Fee per Hour	Average
Milpitas	\$ 20	\$ 21
Fremont		\$ 21
Mountain View	\$ 22	\$ 21
Redwood City	\$ 22	\$ 21
San Jose	\$ 20	\$ 21



PROGRAM FEE ANALYSIS

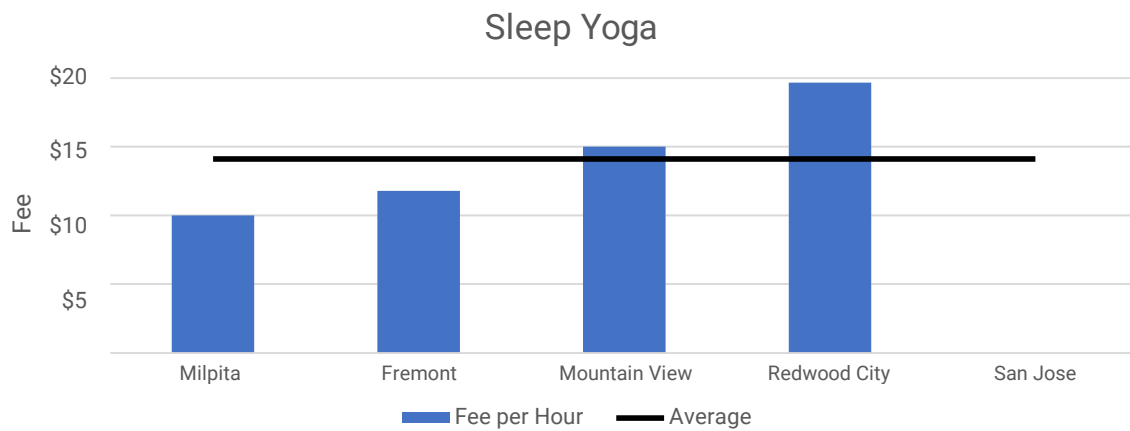
Sleep Yoga	Fee per Class	Average	Length of Class	# of Classes	Cost per Session
Milpitas	\$ 10	\$ 14	1.00	4.00	\$ 40
Fremont	\$ 12	\$ 14	1.00	5.00	\$ 59
Mountain View	\$ 15	\$ 14	1.00	10.00	\$ 150
Redwood City	\$ 20	\$ 14	1.00	9.00	\$ 177
San Jose		\$ 14	-	-	\$ -



APPENDIX: PROGRAM FEE ANALYSIS

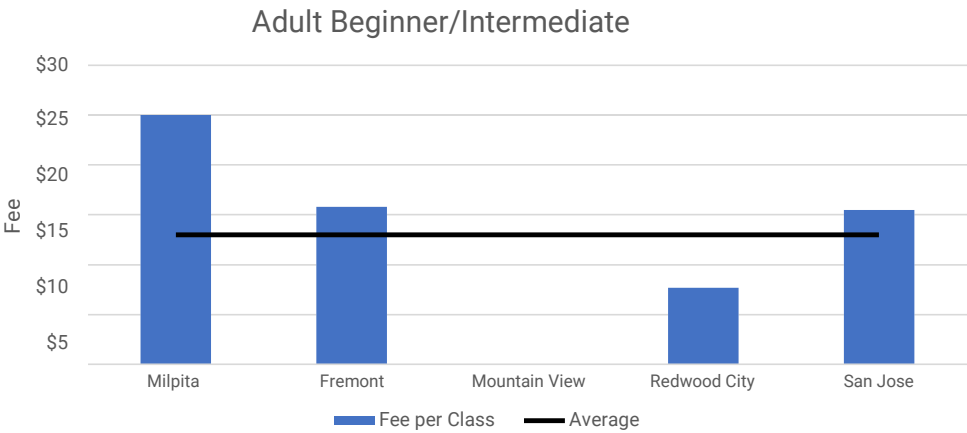
PROGRAM FEE ANALYSIS

Sleep Yoga	Fee per Hour	Average
Milpitas	\$ 10	\$ 14
Fremont	\$ 12	\$ 14
Mountain View	\$ 15	\$ 14
Redwood City	\$ 20	\$ 14
San Jose		\$ 14



PROGRAM FEE ANALYSIS

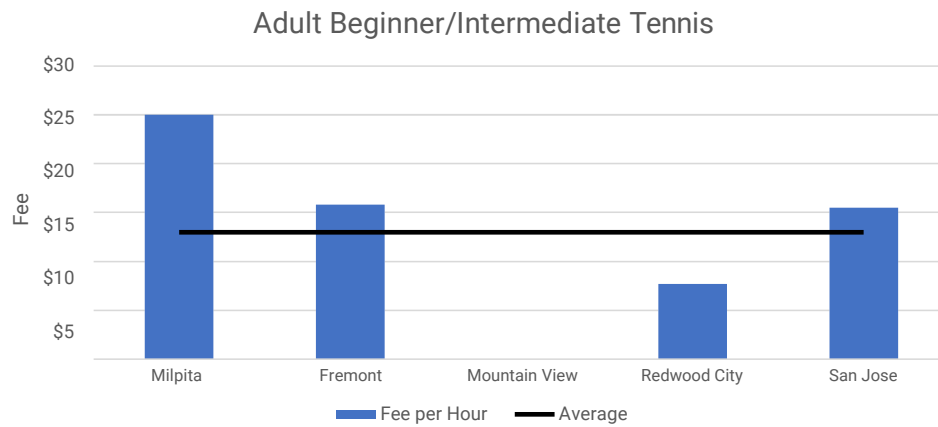
Adult Beginner/Intermediate Tennis	Fee per Class	Average	Length of Class	# of Classes	Cost per Session
Milpitas	\$ 25	\$ 13	1.00	8.00	\$ 200
Fremont	\$ 16	\$ 13	1.00	5.00	\$ 79
Mountain View		\$ 13	-	-	\$ -
Redwood City	\$ 8	\$ 13	1.00	6.00	\$ 46
San Jose	\$ 16	\$ 13	1.00	8.00	\$ 124



APPENDIX: PROGRAM FEE ANALYSIS

PROGRAM FEE ANALYSIS

Adult Beginner/Intermediate Tennis	Fee per Hour	Average
Milpitas	\$ 25	\$ 13
Fremont	\$ 16	\$ 13
Mountain View		\$ 13
Redwood City	\$ 8	\$ 13
San Jose	\$ 16	\$ 13





RECREATION VALUE SYSTEM

The following section contains the Recreational Value System Matrix, a City-developed tool to assess park amenities in the Milpitas Park and Recreation system. This matrix is intended to provide a method for quantifying current park offerings and prioritizing future improvements.

APPENDIX: RECREATIONAL VALUE SYSTEM

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RECREATIONAL VALUE SYSTEM (RVS)

To maximize the recreation opportunities for the Milpitas community, the City has developed a recreation experience matrix to guide existing and future park improvements. Using this measurement tool, all classification of parks are required to provide a diversity of active, contemplative and social gathering experiences.

ACTIVE EXPERIENCES

- Play sports or games: run, walk or bicycle; climb or mountain bike; other outdoor exercise
- Use trails, athletic fields, open spaces/lawns, sport courts, playgrounds, interactive elements

CONTEMPLATIVE EXPERIENCES

- Enjoy nature, read a book, or learn something; relax/meditate/reflect; escape chaos

- Use natural areas, community garden, eating, shade trees, small green spaces, public art, habitat/sensory gardens

SOCIAL GATHERING EXPERIENCES

- Festivals, concerts, outdoor movies, parades; visit farmers' markets, historic sites; meet friends, have a picnic, see neighbors
- Use plazas with seating, small sport courts, amphitheaters/stages, picnic tables, game areas, reservable picnic spaces, dog parks

Under this system, each park amenity is assigned a point value. Each park classification has a target range of required points in each experience category.

RECREATIONAL VALUE SYSTEM - REQUIRED POINTS					
PARK TYPE	ACTIVE	CONTEMPLATIVE	SOCIAL	SUPPORT FACILITIES	TOTAL
Community Park					
Neighborhood Park - Level 1					
Neighborhood Park - Level 2					
Special Use Park					
Urban Park					
Linear Park					

APPENDIX: RECREATIONAL VALUE SYSTEM

RECREATIONAL VALUE SYSTEM - CHECKLIST		
	Points Possible	Points Received
A. ACTIVE USES		
Sport Courts (<i>basketball, volleyball, tennis, pickleball, handball</i>)	2	
Sport Fields (<i>soccer, baseball, softball, cricket, football</i>)	4	
Interactive Water Feature (<i>pool, splash pad, water play</i>)	6	
Playground		
• Large with parent seating	3	
• Small with parent seating	2	
• Destination/All-Abilities/Inclusive	4	
Teen Focused Area (<i>ping pong, climbing wall</i>)	2	
Special Interest (<i>basketball, volleyball, tennis, pickleball, handball</i>)		
• Off-leash dog area	2	
• Pump track/bike park	4	
• Skate park	4	
• Fitness stations/area	2	
TOTAL:		
B. CONTEMPLATIVE USES		
Loop Trail	1	
Nature Area (<i>tree grove, pollinator garden</i>)	2	
Community Garden	2	
Open Multi-use Lawn	1	
Drop-in Picnic Areas (5-10 tables)	1	
Art Element/Fountain	1	
Interpretive Signage System	1	
TOTAL:		

APPENDIX: RECREATIONAL VALUE SYSTEM

		Points Possible	Points Received
C. SOCIAL USES	Large Amphitheater (>50 person capacity)	4	
	Small Amphitheater (<50 person capacity)	2	
	Plaza Area (15-50 person capacity)	2	
	Seating Area (6-12 person capacity)	1	
	Large Sheltered Group Picnic Area (>30 person capacity)	4	
	Small Sheltered Group Picnic Area (<30 person capacity)	3	
	Concession Facility	4	
	Meeting Rooms	2	
	Host Community Event (festival, farmers market)	4	
	Host Neighborhood Event (festival, farmers market)	4	
	TOTAL:		
D. SUPPORT FACILITIES	Restrooms	6	
	Small Parking Lot (<10 car capacity)	2	
	Large Parking Lot (>10 car capacity)	4	
	Event Power	2	
	WIFI	1	
	Connection to Trail(s)	2	
	TOTAL:		
E. REQUIRED AMENITIES	Bike Racks		
	Drinking Fountain		
	Security Lighting		
	Benches/Seating		

APPENDIX: RECREATIONAL VALUE SYSTEM

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FACILITY CONDITION ASSESSMENT

The following section contains the Facility Condition Assessment, which was prepared by EMG for the City of Milpitas in 2018. The assessment includes all park restrooms and snack shacks in the City's park system.

APPENDIX: FACILITY CONDITION ASSESSMENT

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FACILITY CONDITION ASSESSMENT



FACILITY CONDITION ASSESSMENT



FACILITY CONDITION ASSESSMENT

Park Restrooms and Snack Shacks

Milpitas, California 95053

PREPARED BY:

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Owings Mills, Maryland 21117
800.733.0660
www.EMGcorp.com

EMG CONTACT:

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Program Manager
800.733.0660 x7613
mfanderson@emgcorp.com

EMG Project Number:

131644.18R000-017.017

Date of Report:

December 27, 2018

On Site Date:

September 23-24, 2018
and October 3-4, 2018

Prepared for:

City of Milpitas

1265 North Milpitas Boulevard
Milpitas, California 95035
Tony Ndah



engineering | environmental | capital planning | project management

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

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FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

1 Executive Summary

1.1 Property Summary and Assessment Details

General Information

Addresses	<p>Dixon Landing Park Restroom: 1771 Milmont Drive Russel Middle School : 1500 Escuela Parkway, Milpitas Cardoza Park: 1356 Kennedy Drive, Milpitas Augustine Memorial Park: Cortex and Coelho, Milpitas Gill Memorial Park Restroom: 611 Paseo Refugio, Milpitas Jose Higuera Adobe: Wessex Place/North Park Victoria, Milpitas Starlight Park: 450 Rudyard Drive, Milpitas John McDermott Park: Alvarez Court / Abel, Milpitas Hall Memorial Park: 398 La Honda Drive, Milpitas Parc Metro Easts: Curtis Avenue, Milpitas Bob McGuire Park: Garden Street/South Milpitas Blvd. Pinewood Park : 298 Lonetree Court, Milpitas Alviso Adobe Park Restrooms: 2087 Alviso Adobe Court, Milpitas Foothill Park : 400 Roswell, Milpitas Murphy Park : 1588 Saratoga Drive, Milpitas Cerano Park : 751-823 Murphy Ranch Road, Milpitas Sinnott Park : 1501 Clearlake Avenue, Milpitas</p>
Management Point of Contact	<p>City of Milpitas, Mr. Tony Ndah 408.586.2602 phone tndah@ci.milpitas.ca.gov email</p>
Property Type	Restroom and Snack Shacks
Number of Buildings	17
Date(s) of Visit	September 23 - 24, October 3 - 4, 2018
On-site Point of Contact (POC)	John McCarthy
Assessment & Report Prepared By	Kay van der Have & Adrian Reth

/

www.EMGcorp.com p 800.733.0660



APPENDIX: FACILITY CONDITION ASSESSMENT

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

Reviewed By

Kathleen Sullivan for
Matthew Anderson
Program Manager
manderson@emgcorp.com
800.733.0660 x7613

Building Name	Gross Square Footage	Built/Renovated
Dixon Landing Park Restroom	1200	1970/2012
Russell Middle School	800	1999
Cardoza Park	280	1960s
Augustine Memorial Park	280	1960s
Gill Memorial Park Restroom	240	1960s
Jose Higuera Adobe Park	500	1960s/2017
Starlight Park	280	1960s
John McDermott Park	280	2014
Hall Memorial Park	240	1800
Parc Metro East	280	2000s
Bob McGuire Park	240	2016
Pinewood Park	280	1960s
Alviso Adobe Park Restroom	500	2013
Foothill Park	280	1960s
Murphy Park	280	1960s
Cerano Park	600	2012
Sinnott Park	280	1960s
Total SF	6,840	



FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

Areas Observed

The interior spaces were observed in order to gain a clear understanding of the properties overall condition. Other areas accessed included the exterior of the property, and the accessible roofs.

Key Spaces Not Observed

Areas of note that were either inaccessible or not observed for other reasons are listed here:

- Russell Middle School, Roof, Lack of Ladder
- Mechanical Space, Bob McGuire. The mechanical space is in the adjoining community center, the community center was locked.

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

1.2 Significant/Systemic Findings or Deficiencies

Historical Summary

Most of the restrooms appear to have been built in the 1960s. A few have been renovated in the past 10 years, but most appear to be very much as they were when originally built.

Architectural

Most of the restrooms have concrete masonry unit (CMU) wall construction and wood framed roof construction. Most of the CMU walls look good, two restrooms, Hall and Foothill, were noted to have significant vertical cracking. All the modified bituminous roofs are nearing the end of their lives and will need replacement within the next three years. Termite damage and or dry rot were seen in approximately half of the restrooms. Interior and exterior painting is budgeted and anticipated.

Mechanical, Electrical, Plumbing & Fire (MEPF)

Many distribution panels appear to be original, and replacement is recommended. Much of the plumbing also appears to be original, and appears to be in serviceable condition. Heat is supplied only in the Thomas Russel Middle School Restroom; no others are conditioned.

Site

The sites were not reviewed.

Recommended Additional Studies

Termite damage and/or dry rot were noted in several restrooms. A professional consultant must be retained to analyze the existing condition, provide recommendations and, if necessary, estimate the scope and cost of any required repairs. The cost of this study is included in the cost tables. A budgetary cost allowance to replace the roof structure is also included.

There is possible structural damage at Foothill Park. A professional engineer must be retained to analyze the existing condition, provide recommendations and, if necessary, estimate the scope and cost of any required repairs. The cost of this study is included in the cost tables. Due to the ambiguity of the required repair scope at the time of this assessment, the cost for any possible subsequent repairs is not included.

Many of the restrooms were identified as having major or moderate accessibility issues. EMG recommends a study be performed to take measurements, provide additional itemized details, research local requirements, and, if necessary, estimate the scope and cost of any required improvements. The cost of this study is included in the cost tables. Due to the lack of measurements and itemized findings at this point in time, the costs for any possible subsequent repairs or improvements are not currently included.

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

1.3 Facility Condition Index (FCI)

One of the major goals of the FCA is to calculate the FCI, which gives an indication of a building's overall condition. Two FCI ratios are calculated and presented, the Current Year and Ten-Year. The Current Year FCI is the ratio of Immediate Repair Costs to the building's Current Replacement Value. Similarly, the Ten-Year FCI is the ratio of anticipated Capital Reserve Needs over the next ten years to the Current Replacement Value.

FCI Ranges & Description

0 – 5%	In new or well-maintained condition, with little or no visual evidence of wear or other deficiencies.
5 – 10%	Subjected to wear but is still in a serviceable and functioning condition.
10 – 60%	Subjected to hard or long-term wear. Nearing the end of its useful or serviceable life.
60% and above	Has reached the end of its useful or serviceable life. Renewal is now necessary.

The graphs above and tables below represent summary-level findings for the FCA. The deficiencies identified in this assessment can be combined with potential new construction requirements to develop an overall strategy that can serve as the basis for a portfolio-wide capital improvement funding strategy. Key findings from the assessment include:

APPENDIX: FACILITY CONDITION ASSESSMENT

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017


Facility	Cost/SF	Total SF	Replacement Value	Current	3-Year	5-Year	10-Year
Park Restrooms - Snack Shacks	\$530	6,840	\$3,625,200	3.0%	7.0%	12.0%	19.0%
Park Restrooms - Snack Shacks / Alviso Adobe Park Restroom	\$530	500	\$265,000	0.0%	1.0%	3.0%	3.0%
Park Restrooms - Snack Shacks / Augustine Memorial Park	\$530	280	\$148,400	3.0%	8.0%	13.0%	30.0%
Park Restrooms - Snack Shacks / Bob McGuire Park	\$530	240	\$127,200	0.0%	0.0%	0.0%	15.0%
Park Restrooms - Snack Shacks / Cardoza Park	\$530	280	\$148,400	5.0%	10.0%	11.0%	18.0%
Park Restrooms - Snack Shacks / Cerano Park	\$530	600	\$318,000	0.0%	0.0%	1.0%	4.0%
Park Restrooms - Snack Shacks / Dixon Landing Park Restroom	\$530	1,200	\$636,000	0.0%	0.0%	1.0%	5.0%
Park Restrooms - Snack Shacks / Foothill Park	\$530	280	\$148,400	0.0%	6.0%	21.0%	25.0%
Park Restrooms - Snack Shacks / Gill Memorial Park Restroom	\$530	240	\$127,200	0.0%	8.0%	21.0%	38.0%
Park Restrooms - Snack Shacks / Hall Memorial Park	\$530	240	\$127,200	5.0%	16.0%	23.0%	24.0%
Park Restrooms - Snack Shacks / John McDermott Park	\$530	280	\$148,400	0.0%	0.0%	0.0%	0.0%
Park Restrooms - Snack Shacks / Jose Higuera Adobe	\$530	500	\$265,000	0.0%	0.0%	5.0%	13.0%
Park Restrooms - Snack Shacks / Murphy Park	\$530	280	\$148,400	0.0%	4.0%	12.0%	18.0%
Park Restrooms - Snack Shacks / Park Metro East	\$530	280	\$148,400	6.0%	6.0%	15.0%	21.0%
Park Restrooms - Snack Shacks / Pinewood Park	\$530	280	\$148,400	22.0%	25.0%	32.0%	42.0%
Park Restrooms - Snack Shacks / Sinnott Park Restroom	\$530	280	\$148,400	4.0%	14.0%	30.0%	36.0%
Park Restrooms - Snack Shacks / Starlight Park	\$530	280	\$148,400	0.0%	17.0%	27.0%	37.0%
Park Restrooms - Snack Shacks / Thomas Russell middle school	\$530	800	\$424,000	2.0%	12.0%	15.0%	28.0%

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

1.4 Immediate Repairs

Immediate Repairs Report					
11/12/2018					
					
Location Name	Cost Description	Quantity	Unit	Unit Cost	Subtotal
Park Restrooms - Snack Shacks / Alviso Adobe Park Restroom	Fire Alarm System, Office Building, Install	500	SF	\$2.36	\$1,180
Park Restrooms - Snack Shacks / Augustine Memorial Park	Drinking Fountain, Vitreous China, Replace	1	EA	\$1,938.99	\$1,939
Park Restrooms - Snack Shacks / Augustine Memorial Park	Floor Drain, , Replace	1	EA	\$406.91	\$407
Park Restrooms - Snack Shacks / Augustine Memorial Park	Distribution Panel, 100 AMP, Replace	1	EA	\$5,079.93	\$5,080
Park Restrooms - Snack Shacks / Augustine Memorial Park	ADA, Restroom, Hand Dryer, Modify	2	EA	\$850.00	\$1,700
Park Restrooms - Snack Shacks / Cardoza Park	Exterior Door, Steel, Replace	2	EA	\$950.12	\$1,900
Park Restrooms - Snack Shacks / Cardoza Park	Interior Floor Finish, Elastomeric Coating, Prep & Paint	240	SF	\$12.95	\$3,108
Park Restrooms - Snack Shacks / Cardoza Park	Distribution Panel, 100 AMP, Replace	1	EA	\$5,079.93	\$5,080
Park Restrooms - Snack Shacks / Cardoza Park	Receptacle, Ground Fault Circuit Interrupter (GFCI), 15-20 Amp, Replace	1	EA	\$85.88	\$86
Park Restrooms - Snack Shacks / Cardoza Park	ADA, Restroom, Hand Dryer, Modify	2	EA	\$850.00	\$1,700
Park Restrooms - Snack Shacks / Cerano Park	Fire Extinguisher, , Replace	1	EA	\$356.54	\$357
Park Restrooms - Snack Shacks / Dixon Landing Park Restroom	Kitchen Counter, Ceramic Tile, Replace	18	LF	\$85.12	\$1,532
Park Restrooms - Snack Shacks / Gill Memorial Park Restroom	Interior Floor Finish, Epoxy Coating, Prep & Paint	220	SF	\$8.74	\$1,923
Park Restrooms - Snack Shacks / Gill Memorial Park Restroom	Receptacle, Ground Fault Circuit Interrupter (GFCI), 15-20 Amp, Replace	1	EA	\$85.88	\$86
Park Restrooms - Snack Shacks / Gill Memorial Park Restroom	Receptacle, Ground Fault Circuit Interrupter (GFCI), 15-20 Amp, Replace	1	EA	\$85.88	\$86
Park Restrooms - Snack Shacks / Hall Memorial Park	Interior Floor Finish, Epoxy Coating, Prep & Paint	240	SF	\$8.74	\$2,098
Park Restrooms - Snack Shacks / Hall Memorial Park	Distribution Panel, 100 AMP, Replace	1	EA	\$5,079.93	\$5,080
Park Restrooms - Snack Shacks / Hall Memorial Park	Distribution Panel, 225 AMP, Replace	1	EA	\$7,951.00	\$7,951
Park Restrooms - Snack Shacks / Park Metro East	Roof Structure, Pitched, Heavy Timber Framing, Replace	30	SF	\$31.32	\$940
Park Restrooms - Snack Shacks / Park Metro East	Exterior Wall, Painted Surface, 1-2 Stories, Prep & Paint	700	SF	\$2.87	\$2,009
Park Restrooms - Snack Shacks / Park Metro East	Exterior Door, Steel, Replace	1	EA	\$950.12	\$950
Park Restrooms - Snack Shacks / Park Metro East	Roof, Clay/Concrete Tile, Replace	310	SF	\$15.23	\$4,722
Park Restrooms - Snack Shacks / Park Metro East	Interior Wall Finish, Generic Surface, Prep & Paint	800	SF	\$1.45	\$1,160
Park Restrooms - Snack Shacks / Park Metro East	ADA, Restroom, Lavatory Pipe Wraps, Install	1	EA	\$80.00	\$80
Park Restrooms - Snack Shacks	Architect/Engineer, Building Envelope, Masonry, Evaluate/Report	1	EA	\$9,500.00	\$9,500
Park Restrooms - Snack Shacks	Licensed Inspector, Termite investigation, Evaluate/Report	1	EA	\$7,000.00	\$7,000
Park Restrooms - Snack Shacks	ADA, Miscellaneous, Level III Study, Includes Measurements, Evaluate/Report	1	EA	\$15,000.00	\$15,000
Park Restrooms - Snack Shacks / Pinewood Park	Roof Structure, Pitched, Heavy Timber Framing, Replace	280	SF	\$31.32	\$8,770
Park Restrooms - Snack Shacks / Pinewood Park	Interior Floor Finish, Epoxy Coating, Prep & Paint	240	SF	\$8.74	\$2,098
Park Restrooms - Snack Shacks / Pinewood Park	Sink/Lavatory, Stainless Steel, Replace	2	EA	\$1,054.05	\$2,108
Park Restrooms - Snack Shacks / Pinewood Park	Hand Dryer, Restroom, Replace	2	EA	\$1,581.00	\$3,162
Park Restrooms - Snack Shacks / Pinewood Park	Fire Extinguisher, , Replace	1	EA	\$356.54	\$357
Park Restrooms - Snack Shacks / Pinewood Park	Distribution Panel, 208 Y, 120 V, 100 Amp, Replace	1	EA	\$5,079.93	\$5,080
Park Restrooms - Snack Shacks / Pinewood Park	Distribution Panel, 208 Y, 120 V, 100 Amp, Replace	1	EA	\$5,079.93	\$5,080
Park Restrooms - Snack Shacks / Pinewood Park	Lighting System, Interior, Upgrade	280	SF	\$9.24	\$2,588
Park Restrooms - Snack Shacks / Sinnott Park Restroom	Roof Structure, Pitched, Heavy Timber Framing, Replace	50	SF	\$31.32	\$1,566
Park Restrooms - Snack Shacks / Sinnott Park Restroom	Interior Floor Finish, Elastomeric Coating, Prep & Paint	280	SF	\$12.95	\$3,626
Park Restrooms - Snack Shacks / Sinnott Park Restroom	ADA, Restroom, Hand Dryer, Modify	2	EA	\$850.00	\$1,700
Park Restrooms - Snack Shacks / Starlight Park	Hand Dryer, Restroom, Replace	2	EA	\$1,581.00	\$3,162
Park Restrooms - Snack Shacks / Starlight Park	Distribution Panel, 208 Y, 120 V, 100 Amp, Replace	1	EA	\$5,079.93	\$5,080
Park Restrooms - Snack Shacks / Starlight Park	Receptacle, Ground Fault Circuit Interrupter (GFCI), 15-20 Amp, Replace	1	EA	\$85.88	\$86
Park Restrooms - Snack Shacks / Thomas Russell middle school	Exterior Wall, Fiber Cement Siding, 1-2 Stories, Replace	1200	SF	\$6.24	\$7,488
Park Restrooms - Snack Shacks / Thomas Russell middle school	Exterior Door, Steel, Replace	2	EA	\$950.12	\$1,900
Park Restrooms - Snack Shacks / Thomas Russell middle school	Interior Floor Finish, Vinyl Sheeting, Replace	500	SF	\$7.01	\$3,505
Park Restrooms - Snack Shacks / Thomas Russell middle school	Sink/Lavatory, Enameled Steel, Replace	3	EA	\$616.03	\$1,848
Park Restrooms - Snack Shacks / Thomas Russell middle school	Receptacle, Ground Fault Circuit Interrupter (GFCI), 15-20 Amp, Replace	1	EA	\$85.88	\$86
Park Restrooms - Snack Shacks / Thomas Russell middle school	Commercial Kitchen, Refrigerator, 3-Door Reach-In, Replace	1	EA	\$5,804.00	\$5,804
Immediate Repairs Total					\$174,043

* Location Factor included in totals.

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017



FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

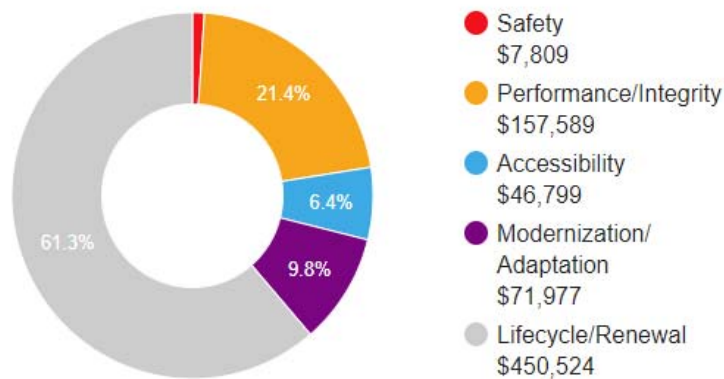
Plan Types

Each line item in the cost database is assigned a Plan Type, which is the primary reason or rationale for the recommended replacement, repair, or other corrective action. This is the “why” part of the equation. A cost or line item may commonly have more than one applicable Plan Type; however, only one Plan Type will be assigned based on the “best” fit, typically the one with the greatest significance.

Plan Type Descriptions

Safety	■ An observed or reported unsafe condition that if left unaddressed could result in an injury; a system or component that presents a potential liability risk.
Performance/Integrity	■ Component or system has failed, is almost failing, performs unreliably, does not perform as intended, and/or poses a risk to overall system stability.
Accessibility	■ Does not meet ADA, UFAS, and/or other handicap accessibility requirements.
Environmental	■ Improvements to air or water quality, including removal of hazardous materials from the building or site.
Retrofit/Adaptation	■ Components, systems, or spaces that are recommended for upgrades in in order to meet current standards, facility usage, or client/occupant needs.
Lifecycle/Renewal	■ Any component or system in which future repair or replacement is anticipated beyond the next several years or is of minimal substantial early-term consequence.

Plan Type Distribution (by Cost)



Ten year total: \$901,676

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

2 Dixon Landing Park Restroom Summary



Dixon Landing Park Restroom Information

Address	1771 Milmont Drive, Milpitas, California
Constructed/ Renovated	1970/2012
Building Size	1,200 SF
Number of Stories	One

<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Masonry bearing walls on concrete slab	Fair
Façade	Exposed CMU with aluminum windows	Fair
Roof	Primary: Hip construction with metal finish	Fair
Interiors	Walls: Painted CMU Floors: Concrete Ceilings: Painted plywood	Fair
Elevators	None	--
Plumbing	Copper supply and cast iron waste & venting Electric water heater in snack shack No hot water in restrooms	Fair

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

Dixon Landing Park Restroom Information

HVAC	None	--
Fire Suppression	Fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-8, CFL, incandescent Emergency: None	Fair
Fire Alarm	None	--
Equipment/Special	Commercial kitchen equipment	--
Site Pavement	Not reviewed	--
Site Development	Not reviewed	--
Key Issues & Findings	ADA items	

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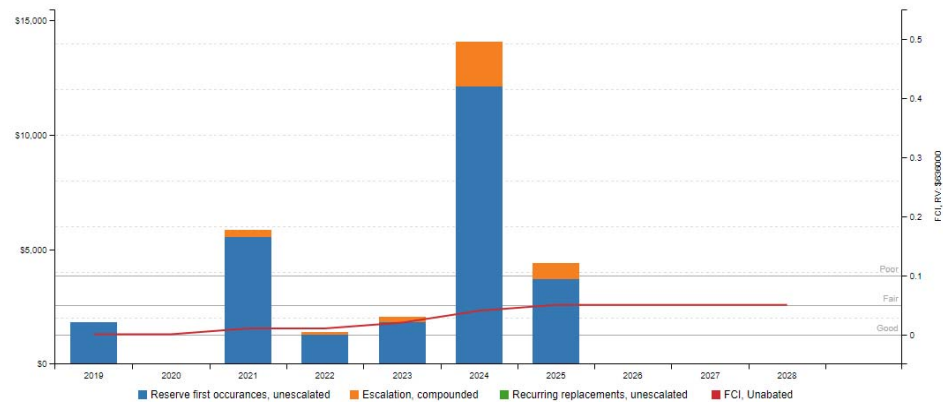
FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

FCI Analysis: Park Restrooms - Snack Shacks
Dixon Landing Park Restroom

Replacement Value: \$ 636,000; Inflation rate: 3.0%



System Expenditure Forecast

System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	\$4,900	-	\$6,585	\$11,485
Roofing	-	-	\$9,145	-	\$48,289	\$57,434
Interiors	-	\$1,399	\$2,054	-	\$14,578	\$18,031
Plumbing	-	\$1,266	-	-	\$24,825	\$26,091
Fire Suppression	-	-	-	-	\$2,395	\$2,395
HVAC	-	\$3,950	-	-	\$5,309	\$9,259
Electrical	-	-	-	\$2,526	\$2,285	\$4,811
Equipment/Special	\$1,804	\$636	-	\$4,410	\$855	\$7,705
Landscaping	-	-	-	\$56,421	-	\$56,421
TOTALS	\$1,804	\$7,251	\$16,099	\$63,357	\$105,121	\$193,632

Dixon Landing Park Restroom Information Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>



FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017



FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

3 Russell Middle School Summary



Russell Middle School Information

Address	1500 Escuela Parkway, Milpitas, California	
Constructed/ Renovated	1999	
Building Size	800 SF	
Number of Stories	One	
System	<i>Description</i>	<i>Condition</i>
Structure	Portable restroom on T-footing	Fair
Façade	Painted hardboard with aluminum windows	Poor
Roof	Primary: Flat construction with metal finish	Fair
Interiors	Walls: Painted gypsum board & RFP Floors: Sheet vinyl Ceilings: ACT	Fair
Elevators	None	--
Plumbing	Copper supply and cast iron waste & venting Electric water heater No hot water in restrooms	Fair

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

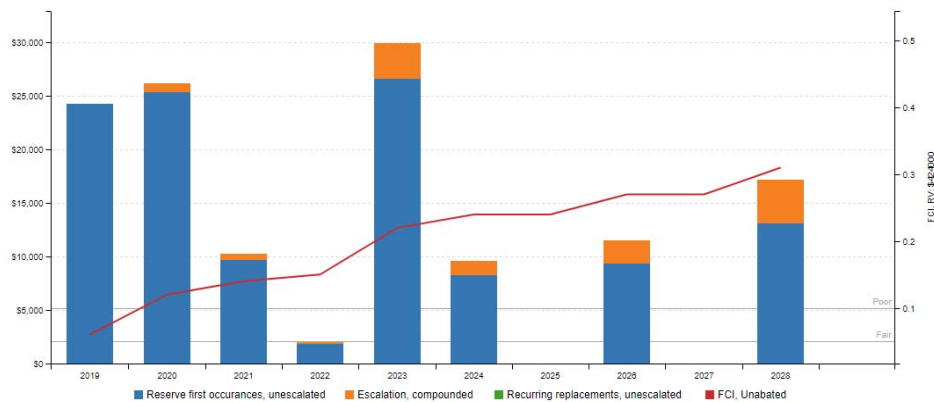
EMG PROJECT NO.: 131644.18R000-017.017

Russell Middle School Information

HVAC	No cooling, electric wall heaters	Fair
Fire Suppression	Wet-pipe sprinkler system; fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-8, Emergency: None	Fair
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations	Fair
Equipment/Special	Commercial kitchen equipment	Fair
Site Pavement	Not reviewed	--
Site Development	Not Reviewed	--
Key Issues & Findings	Exterior hardboard siding is rotting, replacement recommended.	

FCI Analysis: Park Restrooms - Snack Shacks Thomas Russell middle school

Replacement Value: \$ 424,000; Inflation rate: 3.0%



APPENDIX: FACILITY CONDITION ASSESSMENT

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

System Expenditure Forecast

System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	\$11,058	-	\$1,548	-	\$3,594	\$16,200
Roofing	-	-	-	-	-	-
Interiors	\$4,128	\$2,001	\$15,219	-	\$17,518	\$38,866
Plumbing	\$2,177	\$1,525	\$10,325	-	\$7,811	\$21,838
HVAC	-	-	\$4,191	-	\$11,488	\$15,679
Electrical	\$101	\$1,243	\$6,937	\$28,678	-	\$36,959
Fire Alarm & Comm	-	\$27,757	-	-	\$38,368	\$66,125
Equipment/Special	\$6,837	\$5,874	\$1,305	-	\$19,569	\$33,585
TOTALS	\$24,301	\$38,400	\$39,525	\$28,678	\$98,348	\$229,252

Russell Middle School Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

4 Cardoza Park Summary



Cardoza Park Information

Address	1356 Kennedy Drive, Milpitas, California	
Constructed/ Renovated	1960s	
Building Size	280 SF	
Number of Stories	One	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Concrete masonry unit structure on concrete slab with wood-framed roof	Good
Façade	Painted CMU with no windows	Good
Roof	Primary: Flat construction with modified bituminous finish	Fair
Interiors	Walls: CMU with skim coat Floors: Painted concrete Ceilings: Unfinished/exposed	Fair
Elevators	None	--
Plumbing	Copper supply and cast iron waste & venting No hot water	Fair

APPENDIX: FACILITY CONDITION ASSESSMENT

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

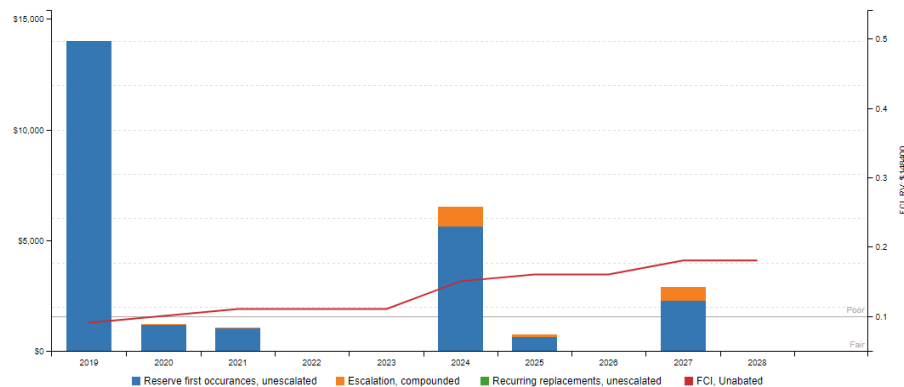
EMG PROJECT NO.: 131644.18R000-017.017

Cardoza Park Information

HVAC	None	--
Fire Suppression	Fire extinguisher	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: Emergency: None	Fair
Fire Alarm	None	--
Equipment/Special	None	--
Site Pavement	Not reviewed	--
Site Development	Not reviewed	--
Key Issues & Findings	ADA items	

FCI Analysis: Park Restrooms - Snack Shacks Cardoza Park

Replacement Value: \$ 148,400; Inflation rate: 3.0%



FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

System Expenditure Forecast

System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	\$2,238	-	\$2,821	-	\$3,792	\$8,851
Roofing	-	-	\$3,685	-	-	\$3,685
Interiors	\$3,661	\$1,087	-	\$7,062	\$2,772	\$14,582
Plumbing	-	-	-	\$2,893	\$8,618	\$11,511
Electrical	\$6,085	-	-	-	\$3,246	\$9,331
Pavement	-	\$1,213	-	-	-	\$1,213
Site Development	-	-	-	-	-	-
Accessibility	\$2,002	-	-	-	-	\$2,002
TOTALS	\$13,986	\$2,300	\$6,506	\$9,955	\$18,428	\$51,175

Cardoza Park Accessibility Issues

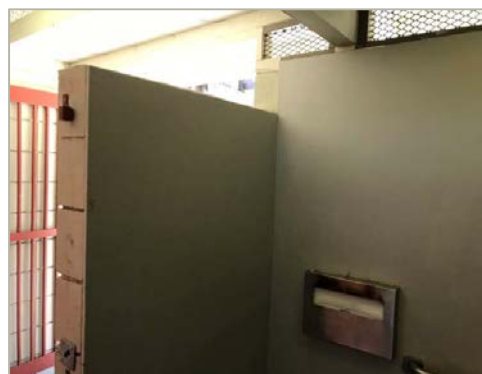
	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Public Use Restrooms	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

5 Augustine Memorial Park Summary



Augustine Memorial Park Information

Address	Cortex and Coelho, Milpitas, California
Constructed/ Renovated	1960s
Building Size	280 SF
Number of Stories	One

<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Concrete masonry unit structure on concrete slab with wood-framed roof	Fair
Façade	Painted CMU with no windows	Fair
Roof	Primary: Flat construction with modified bituminous finish	Fair
Interiors	Walls: Painted CMU Floors: Painted concrete Ceilings: Unfinished/exposed	Fair
Elevators	None	--
Plumbing	Copper supply and cast iron waste & venting No hot water	Fair

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

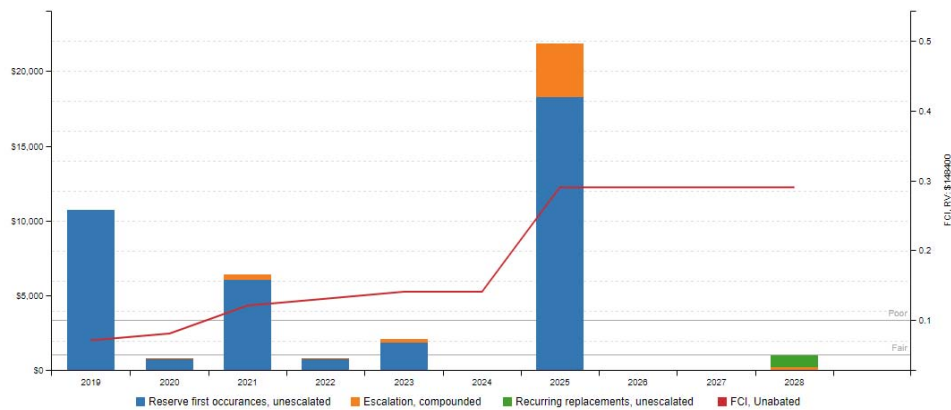
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Augustine Memorial Park Information

HVAC	None	--
Fire Suppression	Fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-12 Emergency: None	Fair
Fire Alarm	None	--
Equipment/Special	None	--
Site Pavement	Not reviewed	--
Site Development	Not reviewed	--
Key Issues & Findings	Aged distribution panels, Failed drinking fountain and floor drain, ADA items	

FCI Analysis: Park Restrooms - Snack Shacks Augustine Memorial Park

Replacement Value: \$ 148,400; Inflation rate: 3.0%



APPENDIX: FACILITY CONDITION ASSESSMENT

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

System Expenditure Forecast

System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	\$1,255	-	\$1,336	\$13,040	\$15,631
Roofing	-	-	-	\$3,767	\$9,169	\$12,936
Interiors	-	\$6,789	-	\$1,003	\$6,478	\$14,270
Plumbing	\$2,763	-	-	-	\$6,995	\$9,758
Electrical	\$5,984	-	\$2,115	-	\$12,898	\$20,997
Equipment/Special	-	-	-	-	-	-
Site Development	-	-	-	-	-	-
Landscaping	-	-	-	\$16,709	-	\$16,709
Accessibility	\$2,002	-	-	-	-	\$2,002
TOTALS	\$10,749	\$8,044	\$2,115	\$22,815	\$48,580	\$92,303

Augustine Memorial Park Restroom Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Public Use Restrooms	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

6 Gill Memorial Park Restroom Summary



Gill Memorial Park Restroom Information

Address	611 Paseo Refugio, Milpitas, California	
Constructed/ Renovated	1960s	
Building Size	240 SF	
Number of Stories	One	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Masonry bearing walls on a slab with wood-framed roof	Fair
Façade	Painted CMU with no windows	Fair
Roof	Primary: Gable construction with clay/concrete tiles	Fair
Interiors	Walls: Painted CMU, unfinished Floors: Epoxy floor coating Ceilings: Painted underside of wood sheathing	Fair
Elevators	None	--
Plumbing	Copper supply and cast iron waste & venting No hot water	Fair

APPENDIX: FACILITY CONDITION ASSESSMENT

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

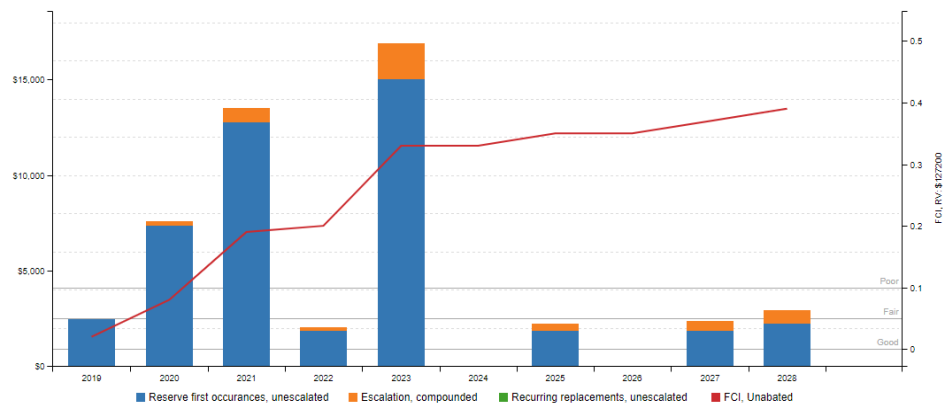
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Gill Memorial Park Restroom Information

HVAC	None	--
Fire Suppression	Fire extinguisher	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-12 Emergency: None	Fair
Fire Alarm	None	--
Equipment/Special	None	--
Site Pavement	Not reviewed	--
Site Development	Not reviewed	--
Key Issues & Findings	The rafter tails have dry rot, the electric panel is aged, several receptacles should be waterproof & GFCI, ADA items	

FCI Analysis: Park Restrooms - Snack Shacks Gill Memorial Park Restroom

Replacement Value: \$ 127,200; Inflation rate: 3.0%



FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

System Expenditure Forecast

System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Structure	-	\$7,599	-	-	-	\$7,599
Facade	-	\$2,031	-	\$2,920	\$2,730	\$7,681
Roofing	-	-	-	-	-	-
Interiors	\$2,265	\$1,674	-	\$4,374	\$5,296	\$13,609
Plumbing	-	-	-	-	\$8,124	\$8,124
Electrical	\$202	\$11,856	\$1,133	\$4,625	-	\$17,816
Site Development	-	-	-	-	\$1,246	\$1,246
Landscaping	-	-	\$15,750	-	\$24,538	\$40,288
TOTALS	\$2,467	\$23,160	\$16,883	\$11,919	\$41,934	\$96,363

Gill Memorial Park Restroom Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Public Use Restrooms	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

7 Jose Higuera Adobe Summary



Jose Higuera Adobe Information

Address	Wessex Place/ North Park Victoria, Milpitas, California	
Constructed/ Renovated	1960s / 2017	
Building Size	500 SF	
Number of Stories	One	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Masonry bearing walls on a slab with wood-framed roof	Good
Façade	Concrete block with a skim coat and no windows	Good
Roof	Primary: Gable construction with clay/concrete tiles	Good
Interiors	Walls: Unfinished CMU Floors: Unfinished concrete Ceilings: Sealed/exposed	Good
Elevators	None	--
Plumbing	Copper supply and ABS waste & venting Electric water heater	Good

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

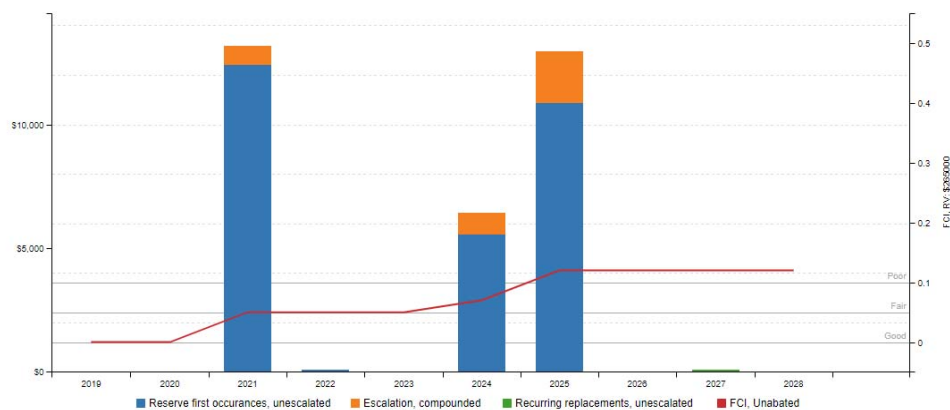
EMG PROJECT NO.: 131644.18R000-017.017

Jose Higuera Adobe Information

HVAC	None	--
Fire Suppression	Fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-12 Emergency: None	Fair
Fire Alarm	None	--
Equipment/Special	None	--
Site Pavement	Not reviewed	--
Site Development	Not reviewed	--
Key Issues & Findings	None	

FCI Analysis: Park Restrooms - Snack Shacks Jose Higuera Adobe

Replacement Value: \$ 265,000; Inflation rate: 3.0%



APPENDIX: FACILITY CONDITION ASSESSMENT

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

System Expenditure Forecast

System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	\$896	-	\$12,965	\$6,358	\$20,219
Roofing	-	-	-	-	-	-
Interiors	-	\$91	\$2,098	\$106	\$2,924	\$5,219
Plumbing	-	\$2,383	-	-	\$11,091	\$13,474
HVAC	-	-	\$4,317	-	\$5,801	\$10,118
Electrical	-	\$9,880	-	\$2,526	\$5,409	\$17,815
TOTALS	-	\$13,250	\$6,415	\$15,597	\$31,583	\$66,845

Jose Higuera Adobe Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

8 Starlight Park Summary



Starlight Park Information

Address	450 Rudyard Drive, Milpitas , California	
Constructed/ Renovated	1960s	
Building Size	280 SF	
Number of Stories	One	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Concrete masonry unit structure on concrete slab with wood-framed roof	Fair
Façade	Painted CMU with no windows	Fair
Roof	Primary: Flat construction with modified bituminous finish	Fair
Interiors	Walls: Painted CMU Floors: Epoxy on concrete Ceilings: Painted exposed wood	Fair

APPENDIX: FACILITY CONDITION ASSESSMENT

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

Starlight Park Information

Elevators	None	--
Plumbing	Copper supply and cast iron waste & venting	Fair
HVAC	None	--
Fire Suppression	Fire extinguisher	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: CFL Emergency: None	Fair
Fire Alarm	None	--
Equipment/Special	None	--
Site Pavement	Not reviewed	--
Site Development	Not reviewed	--
Key Issues & Findings	Termite damage	

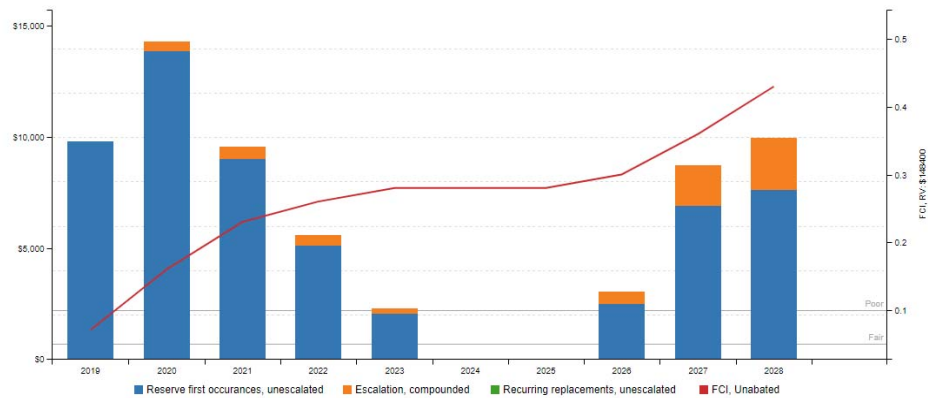
FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

FCI Analysis: Park Restrooms - Snack Shacks Starlight Park

Replacement Value: \$ 146,400; Inflation rate: 3.0%



System Expenditure Forecast

System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Structure	-	\$14,285	-	-	-	\$14,285
Facade	-	-	\$2,283	-	\$3,069	\$5,352
Roofing	-	\$4,284	-	-	-	\$4,284
Interiors	-	\$2,099	-	\$9,951	\$18,191	\$30,241
Plumbing	-	\$2,423	-	\$3,053	\$11,012	\$16,488
HVAC	\$3,724	-	-	\$5,004	-	\$8,728
Electrical	\$6,085	\$6,348	-	\$8,738	\$1,615	\$22,786
Site Development	-	-	-	-	\$1,424	\$1,424
TOTALS	\$9,809	\$29,439	\$2,283	\$26,746	\$35,311	\$103,588

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS


EMG PROJECT NO.: 131644.18R000-017.017

Starlight Park Restrooms Accessibility Issues

	Major Issues <i>(ADA study recommended)</i>	Moderate Issues <i>(ADA study recommended)</i>	Minor/No Issues
Public Use Restrooms	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

9 Hall Memorial Park Summary



Hall Memorial Information

Address	389 La Honda; Milpitas, California	
Constructed/ Renovated	1960s	
Building Size	280 SF	
Number of Stories	One	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Concrete block structure on concrete slab with wood framed roof	Fair
Façade	Painted CMU with no windows	Fair
Roof	Primary: Flat construction with modified bituminous finish	Fair
Interiors	Walls: Painted CMU Floors: Epoxy Ceilings: Painted wood	Fair

APPENDIX: FACILITY CONDITION ASSESSMENT

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

Hall Memorial Information

Elevators	None	--
Plumbing	Copper supply and cast iron waste & venting No hot water	Fair
HVAC	None	--
Fire Suppression	Fire extinguisher	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-12 Emergency: None	Fair
Fire Alarm	None	--
Equipment/Special	None	--
Site Pavement	Not reviewed	--
Site Development	Not reviewed	--
Key Issues & Findings	Possible structural settlement	

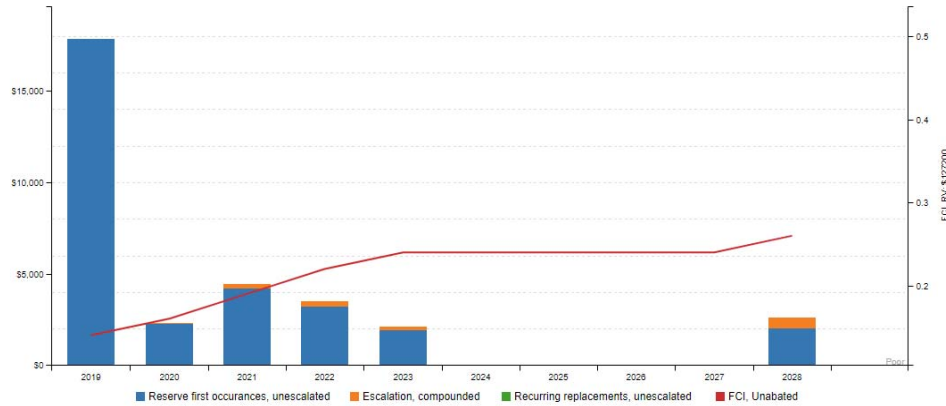
FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

FCI Analysis: Park Restrooms - Snack Shacks Hall Memorial Park

Replacement Value: \$ 127,200; Inflation rate: 3.0%



System Expenditure Forecast

System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	\$4,677	\$2,130	-	\$2,863	\$9,670
Roofing	-	\$3,473	-	-	-	\$3,473
Interiors	\$2,471	\$2,057	-	\$7,676	\$3,122	\$15,326
Plumbing	-	-	-	\$3,336	\$4,164	\$7,500
Electrical	\$15,350	-	-	-	-	\$15,350
Site Development	-	-	-	-	-	-
TOTALS	\$17,821	\$10,207	\$2,130	\$11,012	\$10,149	\$51,319

Hall Memorial Park Restroom Accessibility Issues

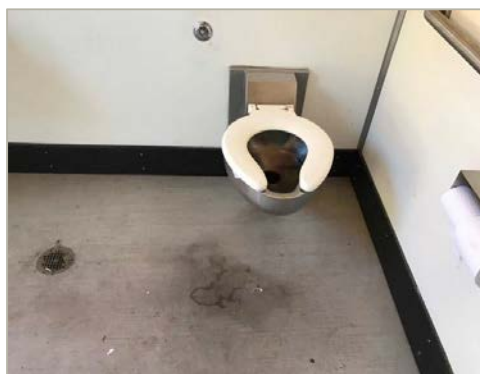
	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Public Use Restrooms	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

10 John McDermott Park Summary



John McDermott Park Information

Address	Alvarez Court / Abel
Constructed/ Renovated	2014
Building Size	280 SF
Number of Stories	One

<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional metal stud structure on concrete slab	Good
Façade	Stucco with no windows	Good
Roof	Primary: Gable construction with clay/concrete tiles	Good
Interiors	Walls: FRP Floors: Unfinished concrete Ceilings: Sealed wood	Good

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

John McDermott Park Information

Elevators	None	--
Plumbing	Copper supply and cast iron waste & venting No hot water	Good
HVAC	No mechanical HVAC	--
Fire Suppression	Fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: CFL Emergency: None	Fair
Fire Alarm	None	--
Equipment/Special	None	--
Site Pavement	Not reviewed	--
Site Development	Not reviewed	--
Key Issues & Findings		

APPENDIX: FACILITY CONDITION ASSESSMENT

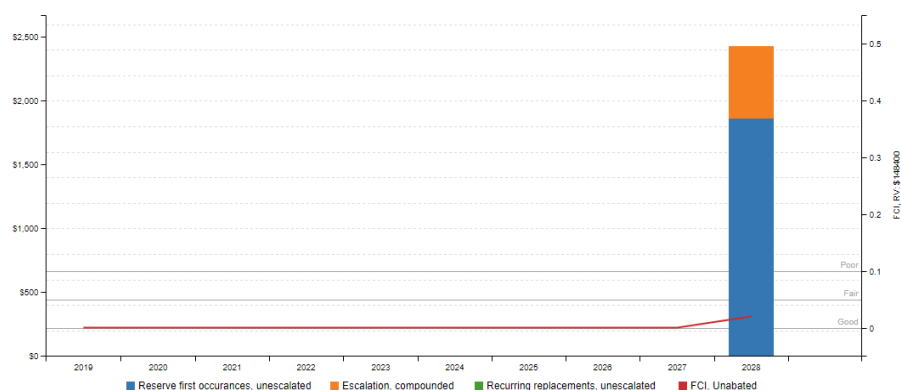
FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

FCI Analysis: Park Restrooms - Snack Shacks John McDermott Park

Replacement Value: \$ 148,400; Inflation rate: 3.0%



System Expenditure Forecast

System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	-	\$2,425	\$3,259	\$5,684
Roofing	-	-	-	-	-	-
Interiors	-	-	-	-	\$17,977	\$17,977
Plumbing	-	-	-	-	\$7,623	\$7,623
Fire Suppression	-	-	-	\$564	-	\$564
Electrical	-	-	-	-	\$2,787	\$2,787
TOTALS	-	-	-	\$2,989	\$31,646	\$34,635

John McDermott Park Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

11 Parc Metro East Summary



Parc Metro East Information

Address	330 E Curtis Ave, Milpitas, California	
Constructed	2000s	
Building Size	280 SF	
Number of Stories	One	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure on concrete slab and wood-framed roof	Good
Façade	Stucco with no windows	Fair
Roof	Gable construction with clay/concrete tiles	Poor
Interiors	Walls: Painted CMU Floors: Unfinished Ceilings: Painted gypsum board	Fair
Elevators	None	--

APPENDIX: FACILITY CONDITION ASSESSMENT

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

Parc Metro East Information

Plumbing	Copper supply and cast iron waste & venting No hot water	Fair
HVAC	Natural air ventilation	Fair
Fire Suppression	Fire extinguisher	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-8, incandescent Emergency: None	Fair
Fire Alarm	None	--
Equipment/Special	None	--
Site Pavement	Not reviewed	--
Site Development	Not reviewed	--
Key Issues & Findings	Minor stucco damage near trash cans, large decorative truss has fallen from the right side, the maintenance door is damaged and difficult to open, many roof tiles are damaged, fire extinguisher needs to be mounted, LED lighting upgrade recommended, missing mirror above sink, wrapping sink drains for ADA is recommended.	



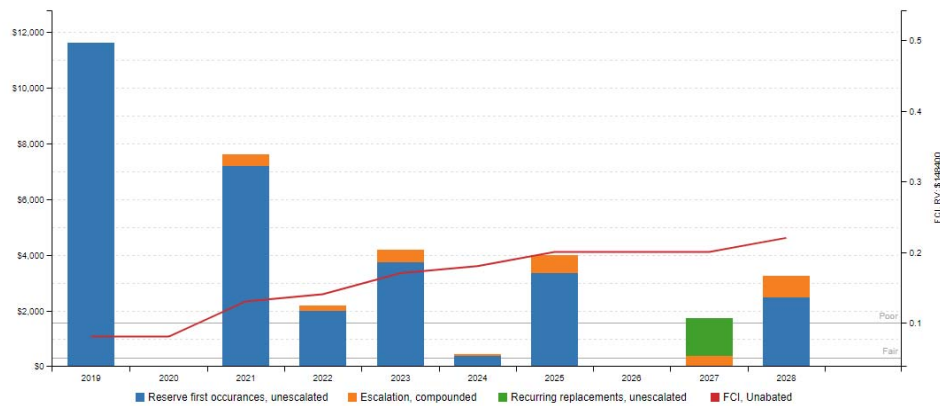
FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

FCI Analysis: Park Restrooms - Snack Shacks Park Metro East

Replacement Value: \$ 148,400; Inflation rate: 3.0%



System Expenditure Forecast

System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Structure	\$1,106	-	-	-	-	\$1,106
Facade	\$3,486	-	-	\$7,189	-	\$10,675
Roofing	\$5,562	-	-	-	-	\$5,562
Interiors	\$1,366	\$2,980	-	\$1,730	\$3,258	\$9,334
Plumbing	-	\$3,596	-	\$3,239	-	\$6,835
Fire Suppression	-	-	-	-	\$581	\$581
HVAC	-	-	\$4,191	-	\$5,632	\$9,823
Electrical	-	\$3,233	-	-	\$8,283	\$11,516
Fire Alarm & Comm	-	-	\$437	-	-	\$437
Accessibility	\$94	-	-	-	-	\$94
TOTALS	\$11,614	\$9,809	\$4,628	\$12,158	\$17,754	\$55,963

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

Parc Metro East Accessibility Issues

	Major Issues <i>(ADA study recommended)</i>	Moderate Issues <i>(ADA study recommended)</i>	Minor/No Issues
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>



FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

12 Bob McGuire Park Summary



Bob McGuire Park Information

Address	791 Garden St, Milpitas, CA	
Constructed	2016	
Building Size	240 SF	
Number of Stories	One	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure on concrete slab and wood-framed roofs	Good
Façade	Stucco with vinyl windows	Good
Roof	Gable construction with clay/concrete tiles	Good
Interiors	Walls: Painted gypsum board with ceramic tile wainscoting Floors: Stained concrete Ceilings: Painted gypsum board	Good
Elevators	None	--

APPENDIX: FACILITY CONDITION ASSESSMENT

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

Bob McGuire Park Information

Plumbing	Copper supply and cast iron waste & venting Domestic water heating equipment was not reviewed	Good
HVAC	Not reviewed	--
Fire Suppression	Wet-pipe sprinkler system	Good
Electrical	Source & Distribution: Not reviewed Interior Lighting: LED Emergency: Not reviewed	Good
Fire Alarm	Smoke detectors, alarms, strobes, back-up emergency lights	Good
Equipment/Special	None	--
Site Pavement	Not reviewed	--
Site Development	Not reviewed	--
Key Issues & Findings	Women's restroom has a hose coming through the ceiling and feeding into the sink, possibly a temporary condensate drain	

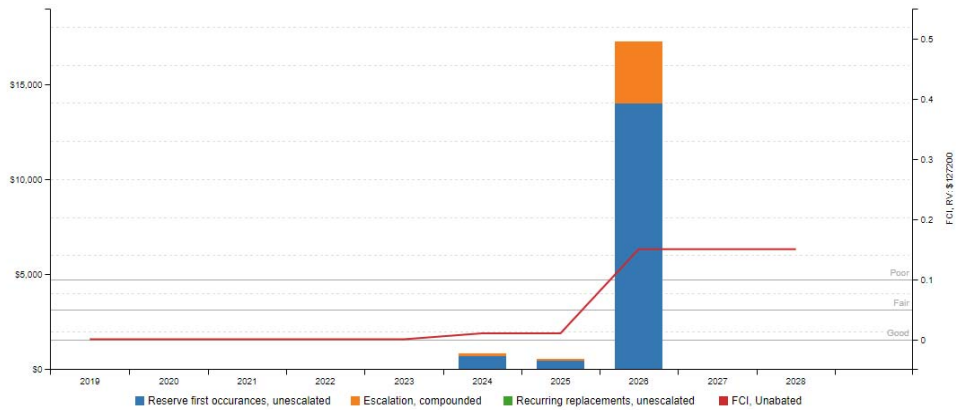
FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

FCI Analysis: Park Restrooms - Snack Shacks Bob McGuire Park

Replacement Value: \$ 127,200; Inflation rate: 3.0%



System Expenditure Forecast

System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	-	\$2,169	\$754	\$2,923
Roofing	-	-	-	-	-	-
Interiors	-	-	\$831	\$3,827	\$8,910	\$13,568
Plumbing	-	-	-	\$3,642	\$15,493	\$19,135
HVAC	-	-	-	\$4,580	\$6,155	\$10,735
Electrical	-	-	-	\$3,556	\$4,780	\$8,336
TOTALS	-	-	\$831	\$17,774	\$36,092	\$54,697

Bob McGuire Park Accessibility Issues

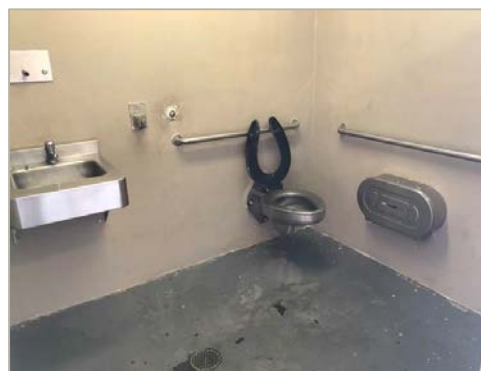
	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

13 Pinewood Park Summary



Pinewood Park Information

Address	Starlight Drive and Lonetree Court, Milpitas, California	
Constructed	1960s	
Building Size	280 SF	
Number of Stories	One	
System	<i>Description</i>	<i>Condition</i>
Structure	Masonry bearing walls on concrete slab	Good
Facade	Painted CMU with no windows	Fair
Roof	Flat construction with modified bituminous finish	Fair
Interiors	Walls: Painted CMU with skim coat Floors: Epoxy paint Ceilings: Exposed, painted	Fair
Elevators	None	--
Plumbing	Copper supply and cast iron waste & venting No hot water	Fair

FACILITY CONDITION ASSESSMENT

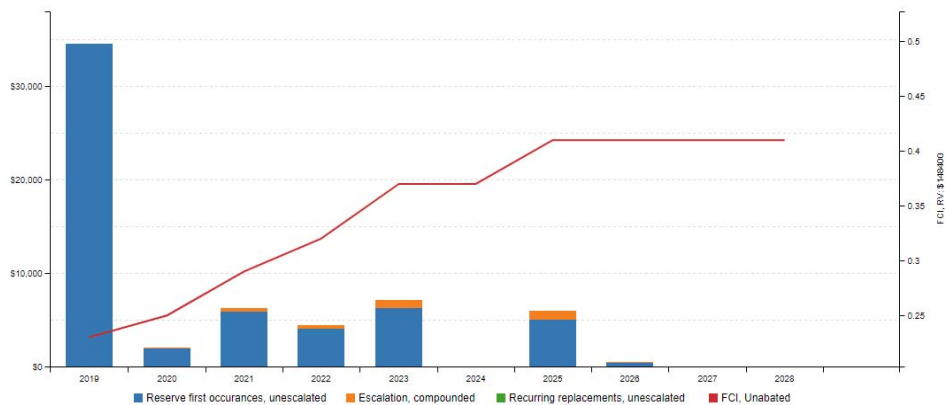
PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

Pinewood Park Information		
HVAC	None	Fair
Fire Suppression	Fire extinguisher	Missing
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-12, incandescent Emergency: None	Poor
Fire Alarm	None	--
Equipment/Special	None	--
Site Pavement	Not reviewed	--
Site Development	Not reviewed	--
Key Issues & Findings	Dry rot on roof beam tails, antiquated plumbing and electrical infrastructure, missing fire extinguisher, recommend replacement of sink faucets, replacement and relocation of hand driers and soap dispensers, sink drains need to be wrapped for ADA compliance.	

FCI Analysis: Park Restrooms - Snack Shacks Pinewood Park

Replacement Value: \$ 148,400; Inflation rate: 3.0%



APPENDIX: FACILITY CONDITION ASSESSMENT

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

System Expenditure Forecast

System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Structure	\$10,330	-	-	-	-	\$10,330
Facade	-	\$2,586	\$2,518	-	\$3,476	\$8,580
Roofing	-	\$3,372	-	\$484	\$651	\$4,507
Interiors	\$2,471	\$3,255	-	\$5,041	\$3,121	\$13,888
Plumbing	\$2,483	\$3,616	-	-	\$2,111	\$8,210
Fire Suppression	\$420	-	-	-	\$654	\$1,074
HVAC	\$3,724	-	-	\$5,004	-	\$8,728
Electrical	\$15,016	-	-	\$12,737	-	\$27,753
Fire Alarm & Comm	-	-	\$424	-	\$661	\$1,085
Site Development	-	-	\$4,161	-	-	\$4,161
TOTALS	\$34,444	\$12,829	\$7,103	\$23,266	\$10,674	\$88,316

Pinewood Park Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

14 Alviso Adobe Park Restroom Summary



Alviso Adobe Park Restroom Information

Address	2087 Alviso Adobe Court, Milpitas, California 95053	
Constructed/ Renovated	2013	
Building Size	500 SF	
Number of Stories	1	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure on concrete slab	Good
Façade	Wood siding and no windows	Good
Roof	Primary: Gable construction with wood shingles	Good
Interiors	Walls: Painted Drywall Floors: Unfinished Ceilings: Painted Drywall	Fair

APPENDIX: FACILITY CONDITION ASSESSMENT

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

Alviso Adobe Park Restroom Information

Elevators	None	--
Plumbing	Copper pipe supply and cast iron waste & venting No hot water	Good
HVAC	None	--
Fire Suppression	Fire extinguishers	Failed
Electrical	Source & Distribution: Fed from Water Tower building with copper wiring Interior Lighting: CFL	Good
Fire Alarm	None	--
Equipment/Special	None	--
Key Issues & Findings	Expired fire extinguisher and building lacks fire alarm system	

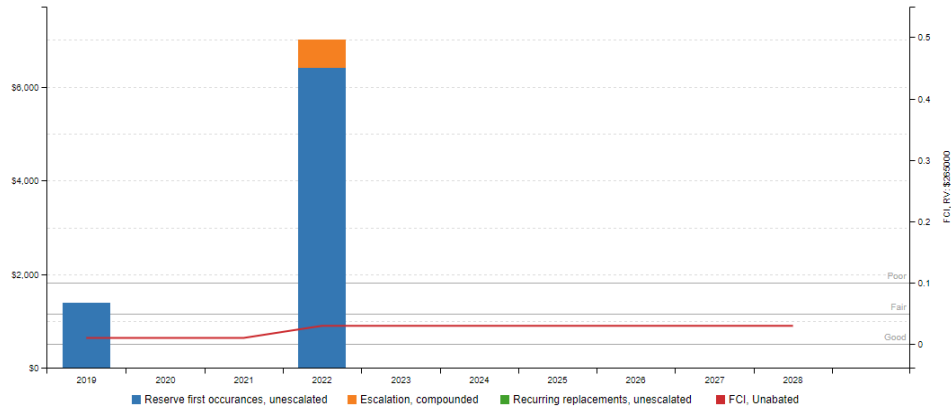
FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

FCI Analysis: Park Restrooms - Snack Shacks Alviso Adobe Park Restroom

Replacement Value: \$ 265,000; Inflation rate: 3.0%



System Expenditure Forecast

System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	\$2,955	-	-	\$9,687	\$12,642
Roofing	-	-	-	-	\$7,851	\$7,851
Interiors	-	\$2,425	-	-	\$6,964	\$9,389
Plumbing	-	\$1,618	-	-	\$13,372	\$14,990
Fire Alarm & Comm	\$1,389	-	-	-	-	\$1,389
TOTALS	\$1,389	\$6,998	-	-	\$37,874	\$46,261

Alviso Adobe Park Restroom Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Public Use Restrooms	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

15 Foothill Park Summary



Foothill Park Information

Address	400 Roswell Drive, Milpitas
Constructed/ Renovated	1960s
Building Size	280 SF
Number of Stories	One

System	Description	Condition
Structure	Concrete block (CMU) structure on concrete slab with wood-framed roof	Fair
Façade	Painted CMU with no windows	Fair
Roof	Primary: Flat construction with modified bituminous finish	Fair
Interiors	Walls: Painted CMU Floors: Epoxy/Unfinished Ceilings: Painted wood	Fair

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

Foothill Park Information

Elevators	None	--
Plumbing	Copper supply and cast iron waste & venting No hot water	Fair
HVAC	None	--
Fire Suppression	Fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-12 Emergency: None	Fair
Fire Alarm	None	--
Equipment/Special	None	--
Site Pavement	Not reviewed	--
Site Development	Not reviewed	--
Key Issues & Findings	Possible termite damage, possible structural damage (vertical crack in concrete block)	

APPENDIX: FACILITY CONDITION ASSESSMENT

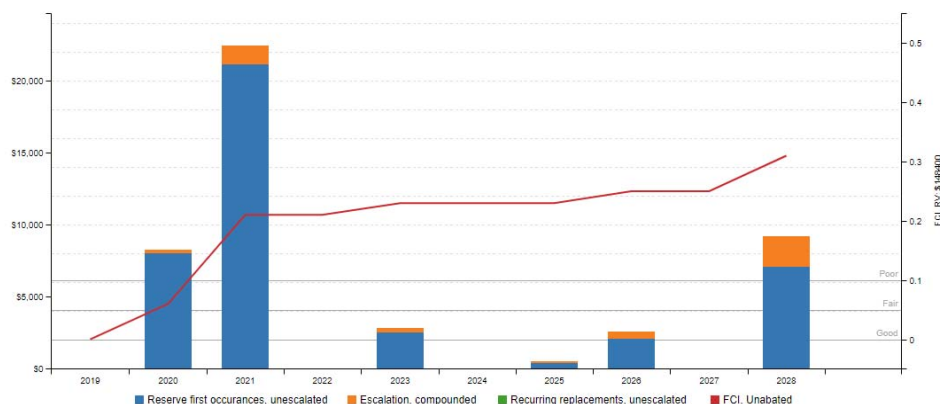
FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

FCI Analysis: Park Restrooms - Snack Shacks Foothill Park

Replacement Value: \$ 148,400; Inflation rate: 3.0%



System Expenditure Forecast

System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	\$2,106	-	\$4,327	\$3,854	\$10,287
Roofing	-	\$3,372	-	-	-	\$3,372
Interiors	-	\$2,621	\$721	\$2,605	\$6,087	\$12,034
Plumbing	-	\$1,571	-	\$3,239	\$6,154	\$10,964
Fire Suppression	-	-	-	\$501	-	\$501
Electrical	-	\$6,163	\$2,115	\$1,642	\$11,579	\$21,499
Site Development	-	-	-	-	\$1,424	\$1,424
Landscaping	-	\$14,846	-	-	\$23,129	\$37,975
TOTALS	-	\$30,679	\$2,836	\$12,314	\$52,227	\$98,056

Foothill Park Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Public Use Restrooms	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

16 Murphy Park Summary



Murphy Park Information

Address	1588 Saratoga Drive, Milpitas, California	
Constructed/ Renovated	1960s	
Building Size	280 SF	
Number of Stories	One	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Concrete block structure on concrete slab with wood framed roof	Fair
Façade	Painted CMU with no windows	Fair
Roof	Primary: Flat construction with modified bituminous finish	Fair
Interiors	Walls: Painted CMU Floors: Epoxy Ceilings: Painted wood	Fair

APPENDIX: FACILITY CONDITION ASSESSMENT

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

Murphy Park Information

Elevators	None	--
Plumbing	Copper supply and cast iron waste & venting No hot water	Fair
HVAC	None	--
Fire Suppression	Fire extinguisher	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-12 Emergency: None	Fair
Fire Alarm	None	--
Equipment/Special	None	--
Site Pavement	Not reviewed	--
Site Development	Not reviewed	--
Key Issues & Findings	Rafter tails show dry rot and possibly termite damage	

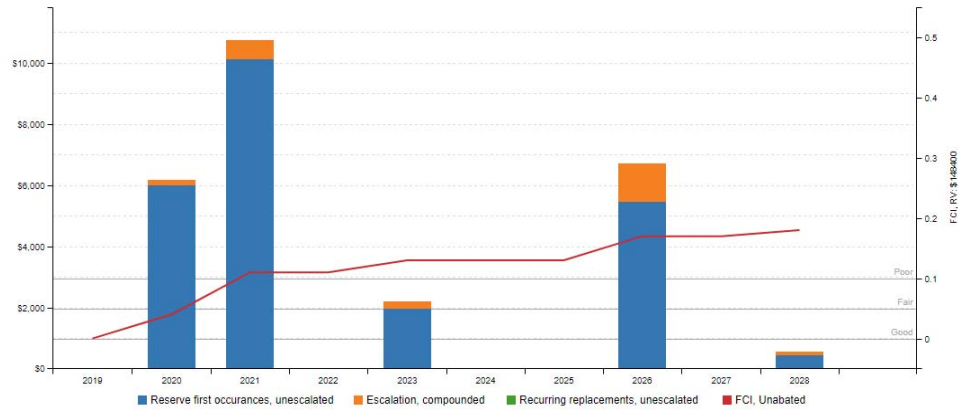
FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

FCI Analysis: Park Restrooms - Snack Shacks Murphy Park

Replacement Value: \$ 148,400; Inflation rate: 3.0%



System Expenditure Forecast

System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	\$2,374	\$2,207	-	\$2,966	\$7,547
Roofing	-	-	-	-	\$5,202	\$5,202
Interiors	-	\$5,922	-	\$3,067	\$8,312	\$17,301
Plumbing	-	\$2,423	-	\$3,053	\$7,939	\$13,415
Fire Suppression	-	-	-	\$548	-	\$548
Electrical	-	\$6,163	-	\$2,312	\$1,142	\$9,617
Site Development	-	-	-	-	\$1,383	\$1,383
TOTALS	-	\$16,882	\$2,207	\$8,980	\$26,944	\$55,013

Murphy Park Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Public Use Restrooms	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

17 Cerano Park Summary



Cerano Park Information

Address	Murphy Ranch Road, Milpitas, California	
Constructed	2012, Estimated	
Building Size	600 SF	
Number of Stories	1	
System	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure on concrete slab and wood-framed roof	Good
Façade	Stucco with steel vent windows	Good
Roof	Primary: Crossed hip construction with clay/concrete tiles	Good
Interiors	Walls: CMU, Unfinished Floors: Concrete, Unfinished Ceilings: Painted gypsum board	Good
Elevators	None	--

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

Cerano Park Information

Plumbing	Copper supply and cast iron waste & venting No hot water	Good
HVAC	None	Good
Fire Suppression	Fire extinguisher	Missing
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: LED, motion detectors Emergency: None	Good
Fire Alarm	None	--
Equipment/Special	None	--
Site Pavement	Not reviewed	--
Site Development	Not reviewed	--
Key Issues & Findings	Missing fire extinguisher	

APPENDIX: FACILITY CONDITION ASSESSMENT

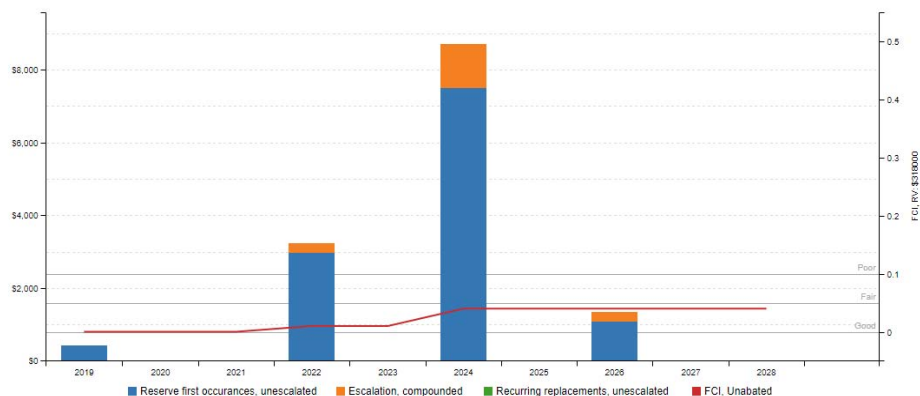
FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

FCI Analysis: Park Restrooms - Snack Shacks Cerano Park

Replacement Value: \$ 318,000; Inflation rate: 3.0%



System Expenditure Forecast

System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	\$3,135	-	\$13,739	\$16,874
Roofing	-	-	-	\$1,333	\$1,791	\$3,124
Interiors	-	-	\$1,239	-	\$4,605	\$5,844
Plumbing	-	\$3,236	-	-	\$14,432	\$17,668
Fire Suppression	\$420	-	-	-	\$654	\$1,074
HVAC	-	-	\$4,317	-	\$5,801	\$10,118
Electrical	-	-	-	-	\$10,828	\$10,828
TOTALS	\$420	\$3,236	\$8,691	\$1,333	\$51,850	\$65,530

Cerano Park Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

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18 Sinnott Park Restrooms Summary



Sinnott Park Restrooms Information

Address	1501 Clearlake Avenue, Milpitas	
Constructed/ Renovated	1960's	
Building Size	280 SF	
Number of Stories	One	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure on concrete slab and wood-framed roofs	Good
Façade	Painted CMU with no windows	Fair
Roof	Flat construction with modified bituminous finish	Fair
Interiors	Walls: Painted CMU with skim coat Floors: Epoxy paint Ceilings: Exposed, painted	Fair
Elevators	None	--
Plumbing	Copper supply and cast iron waste & venting No hot water	Fair

APPENDIX: FACILITY CONDITION ASSESSMENT

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

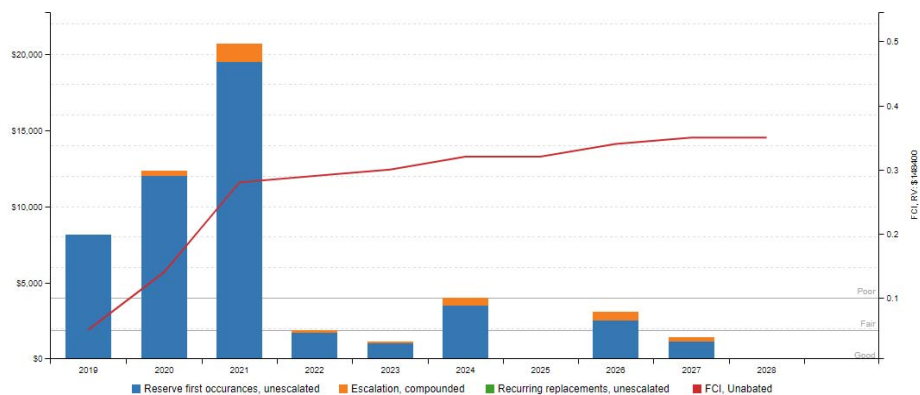
EMG PROJECT NO.: 131644.18R000-017.017

Sinnott Park Restrooms Information

HVAC	Natural air ventilation	Fair
Fire Suppression	Fire extinguisher	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-12 Emergency: None	Fair
Fire Alarm	None	--
Equipment/Special	None	--
Site Pavement	Not reviewed	--
Site Development	Not reviewed	--
Key Issues & Findings	Antiquated plumbing and electrical infrastructure	

FCI Analysis: Park Restrooms - Snack Shacks Sinnott Park Restroom

Replacement Value: \$ 148,400; Inflation rate: 3.0%



FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

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System Expenditure Forecast

System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Structure	\$1,844	-	-	-	-	\$1,844
Facade	-	-	\$3,135	\$1,417	\$4,214	\$8,766
Roofing	-	\$3,372	-	-	-	\$3,372
Interiors	\$4,271	\$1,866	\$867	\$5,739	\$8,443	\$21,186
Plumbing	-	\$2,423	-	\$3,053	\$7,939	\$13,415
Fire Suppression	-	-	-	-	\$581	\$581
Electrical	-	\$12,326	\$1,133	-	-	\$13,459
Site Development	-	-	-	-	-	-
Landscaping	-	\$14,846	-	-	\$23,129	\$37,975
Accessibility	\$2,002	-	-	-	-	\$2,002
TOTALS	\$8,117	\$34,833	\$5,135	\$10,209	\$44,306	\$102,600

Sinnott Park Restroom Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Public Use Restrooms	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

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19 Opinions of Probable Costs

Cost estimates are attached throughout this report, with the Replacement Reserves in the appendix.

These estimates are based on Invoice or Bid Document/s provided either by the Owner/facility and construction costs developed by construction resources such as *R.S. Means*, *CBRE Whitestone*, and *Marshall & Swift*, EMG's experience with past costs for similar properties, city cost indexes, and assumptions regarding future economic conditions.

Opinions of probable costs should only be construed as preliminary, order of magnitude budgets. Actual costs most probably will vary from the consultant's opinions of probable costs depending on such matters as type and design of suggested remedy, quality of materials and installation, manufacturer and type of equipment or system selected, field conditions, whether a physical deficiency is repaired or replaced in whole, phasing or bundling of the work (if applicable), quality of contractor, quality of project management exercised, market conditions, use of subcontractors, and whether competitive pricing is solicited, etc. Certain opinions of probable costs cannot be developed within the scope of this guide without further study. Opinions of probable cost for further study should be included in the FCA.

19.1 Methodology

Based upon site observations, research, and judgment, along with referencing Expected Useful Life (EUL) tables from various industry sources, EMG opines as to when a system or component will most probably necessitate replacement. Accurate historical replacement records, if provided, are typically the best source of information. Exposure to the elements, initial quality and installation, extent of use, the quality and amount of preventive maintenance exercised, etc., are all factors that impact the effective age of a system or component. As a result, a system or component may have an effective age that is greater or less than its actual chronological age. The Remaining Useful Life (RUL) of a component or system equals the EUL less its *effective age*, whether explicitly or implicitly stated. Projections of Remaining Useful Life (RUL) are based on continued use of the Property similar to the reported past use. Significant changes in occupants and/or usage may affect the service life of some systems or components.

Where quantities could not be or were not derived from an actual construction document take-off or facility walk-through, and/or where systemic costs are more applicable or provide more intrinsic value, budgetary square foot and gross square foot costs are used. Estimated costs are based on professional judgment and the probable or actual extent of the observed defect, inclusive of the cost to design, procure, construct and manage the corrections.

19.2 Immediate Repairs

Immediate repairs are opinions of probable costs that require immediate action as a result of: (1) material existing or potential unsafe conditions, (2) failed or imminent failure of mission critical building systems or components, or (3) conditions that, if not addressed, have the potential to result in, or contribute to, critical element or system failure within one year or will most probably result in a significant escalation of its remedial cost.

19.3 Replacement Reserves

Replacement Reserves (more commonly referenced throughout AssetCALC as Lifecycle/Renewals) are for recurring probable renewals or expenditures, which are not classified as operation or maintenance expenses. The replacement reserves should be budgeted for in advance on an annual basis. Replacement Reserves are reasonably predictable both in terms of frequency and cost. However, Replacement Reserves may also include components or systems that have an indeterminable life but, nonetheless, have a potential for failure within an estimated time period.

Replacement Reserves generally exclude systems or components that are estimated to expire after the reserve term and are not considered material to the structural and mechanical integrity of the subject property. Furthermore, systems and components that are not deemed to have a material effect on the use of the Property are also excluded. Costs that are caused by acts of God, accidents, or other occurrences that are typically covered by insurance, rather than reserved for, are also excluded.

Replacement costs are solicited from ownership/property management, EMG's discussions with service companies, manufacturers' representatives, and previous experience in preparing such schedules for other similar facilities. Costs for work performed by the ownership's or property management's maintenance staff are also considered.

EMG's reserve methodology involves identification and quantification of those systems or components requiring capital reserve funds within the assessment period. The assessment period is defined as the effective age plus the reserve term. Additional information concerning system's or component's respective replacement costs (in today's dollars), typical expected useful lives, and remaining useful lives were estimated so that a funding schedule could be prepared. The Replacement Reserves Schedule presupposes that all required remedial work has been performed or that monies for remediation have been budgeted for items defined in the Immediate Repair Cost Estimate.

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

EMG PROJECT NO.: 131644.18R000-017.017

20 Purpose and Scope

20.1 Purpose

EMG was retained by the client to render an opinion as to the Property's current general physical condition on the day of the site visit. Based on the observations, interviews and document review outlined below, this report identifies significant deferred maintenance issues, existing deficiencies, and material code violations of record, which affect the Property's use. Opinions are rendered as to its structural integrity, building system condition and the Property's overall condition. The report also notes building systems or components that have realized or exceeded their typical expected useful lives.

CONDITIONS:

The physical condition of building systems and related components are typically defined as being in one of five conditions: Excellent, Good, Fair, Poor, Failed or a combination thereof. For the purposes of this report, the following definitions are used:

Excellent	=	New or very close to new; component or system typically has been installed within the past year, sound and performing its function. Eventual repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
Good	=	Satisfactory as-is. Component or system is sound and performing its function, typically within the first third of its lifecycle. However, it may show minor signs of normal wear and tear. Repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
Fair	=	Showing signs of wear and use but still satisfactory as-is, typically near the median of its estimated useful life. Component or system is performing adequately at this time but may exhibit some signs of wear, deferred maintenance, or evidence of previous repairs. Repair or replacement will be required due to the component or system's condition and/or its estimated remaining useful life.
Poor	=	Component or system is significantly aged, flawed, functioning intermittently or unreliably; displays obvious signs of deferred maintenance; shows evidence of previous repair or workmanship not in compliance with commonly accepted standards; has become obsolete; or exhibits an inherent deficiency. The present condition could contribute to or cause the deterioration of contiguous elements or systems. Either full component replacement is needed or repairs are required to restore to good condition, prevent premature failure, and/or prolong useful life.
Failed	=	Component or system has ceased functioning or performing as intended. Replacement, repair, or other significant corrective action is recommended or required.
Not Applicable	=	Assigning a condition does not apply or make logical sense, most commonly due to the item in question not being present.

DEFINITION OF EXCEEDINGLY AGED:

A fairly common scenario encountered during the assessment process, and a frequent source of debate, occurs when classifying and describing "very old" systems or components that are still functioning adequately and do not appear in any way deficient. To help provide some additional intelligence on these items, such components will be tagged in the database as *Exceedingly Aged*. This designation will be reserved for systems or components that have aged well beyond their industry standard lifecycles (typically at least 15 years beyond and/or twice their EUL) but are not otherwise apparently deficient. In tandem with this designation, these items will be assigned an RUL not less than 2 but not greater than 1/3 of their standard EUL. As such the recommended replacement time for these components will reside outside the typical *Immediate Repair* window but will not be pushed 'irresponsibly' (too far) into the future.

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

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20.2 Scope

The standard scope of the Facility Condition Assessment includes the following:

- Visit the Property to evaluate the general condition of the building and site improvements, review available construction documents in order to familiarize ourselves with, and be able to comment on, the in-place construction systems, life safety, mechanical, electrical, and plumbing systems, and the general built environment.
- Identify those components that are exhibiting deferred maintenance issues and provide cost estimates for Immediate Costs and Replacement Reserves based on observed conditions, maintenance history and industry standard useful life estimates. This will include the review of documented capital improvements completed within the last five-year period and work currently contracted for, if applicable.
- Provide a full description of the Property with descriptions of in-place systems and commentary on observed conditions.
- Provide a high-level categorical general statement regarding the subject Property's compliance to Title III of the Americans with Disabilities Act. This will not constitute a full ADA survey, but will help identify exposure to issues and the need for further review.
- Obtain background and historical information about the facility from a building engineer, property manager, maintenance staff, or other knowledgeable source. The preferred methodology is to have the client representative or building occupant complete a Pre-Survey Questionnaire (PSQ) in advance of the site visit. Common alternatives include a verbal interview just prior to or during the walk-through portion of the assessment.
- Review maintenance records and procedures with the in-place maintenance personnel.
- Observe a representative sample of the interior spaces/units, including vacant spaces/units, to gain a clear understanding of the property's overall condition. Other areas to be observed include the exterior of the property, the roofs, interior common areas, and the significant mechanical, electrical and elevator equipment rooms.
- Provide recommendations for additional studies, if required, with related budgetary information.
- Provide an Executive Summary at the beginning of this report, which highlights key findings and includes a Facility Condition Index as a basis for comparing the relative conditions of the buildings within the portfolio.

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

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21 ADA Accessibility

Generally, Title III of the Americans with Disabilities Act (ADA) prohibits discrimination by entities to access and use of "areas of public accommodations" and "commercial facilities" on the basis of disability. Regardless of its age, these areas and facilities must be maintained and operated to comply with the Americans with Disabilities Act Accessibility Guidelines (ADAAG).

Buildings completed and occupied after January 26, 1992 are required to comply fully with the ADAAG. Existing facilities constructed prior to this date are held to the lesser standard of compliance to the extent allowed by structural feasibility and the financial resources available. As an alternative, a reasonable accommodation pertaining to barrier removal must be made.

During the FCA, EMG performed a limited high-level accessibility review of the facility non-specific to any local regulations or codes. The scope of the visual observation was limited to those areas and categories set forth in the tables throughout this report. It is understood by the Client that the limited observations described herein do not comprise a full ADA Compliance Survey, and that such a survey is beyond the scope of EMG's undertaking. Only a representative sample of areas was observed and actual measurements were not taken to verify compliance.

It appears that the restrooms were built between 1960 and 2014. Some, though not all of the restrooms have been subsequently renovated. It is unknown if there have been complaints about accessibility issues or if there have been prior or pending litigation related to existing barriers or previously removed barriers.

An accessibility study has not been performed at the site. A comprehensive ADA Compliance Survey will reveal specific aspects of the property that are not in compliance. Since some areas or categories above were identified as having major or moderate associated issues, EMG recommends such a study be performed to take measurements, provide additional itemized details, research local requirements, and, if necessary, estimate the scope and cost of any required improvements. The cost of this study is included in the cost tables. Due to the lack of measurements and itemized findings at this point in time, the costs for any possible subsequent repairs or improvements are not currently included.

Removal of barriers to accessibility should be addressed from a liability standpoint in order to comply with federal law, but the barriers may or may not be building code violations. The Americans with Disabilities Act Accessibility Guidelines are part of the ADA federal civil rights law pertaining to the disabled and are not a construction code. State and local jurisdictions have adopted the ADA Guidelines or have adopted other standards for accessibility as part of their construction codes.

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

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22 Certification

The City of Milpitas (the Client) retained EMG to perform this Facility Condition Assessment in connection with its continued operation of the following restrooms /snack shacks: Thomas Russel Middle School, Foothill Park, Starlight Park, Parc Metro East, Alviso Adobe Park, Jose Higuera Adobe Park, Pinewood Park, Cerano Park, Sinnott Park, Murphy Park, Cardoza Park, Gill Memorial Park, Dixon Landing Park, John McDermott Park, Bob McGuire Park, Augustine Memorial Park, Hall Memorial Park, all are in Milpitas, California, the "Property". It is our understanding that the primary interest of the Client is to locate and evaluate materials and building system defects that might significantly affect the value of the property and to determine if the present Property has conditions that will have a significant impact on its continued operations.

The conclusions and recommendations presented in this report are based on the brief review of the plans and records made available to our Project Manager during the site visit, interviews of available property management personnel and maintenance contractors familiar with the Property, appropriate inquiry of municipal authorities, our Project Manager's walk-through observations during the site visit, and our experience with similar properties.

No testing, exploratory probing, dismantling or operating of equipment or in-depth studies were performed unless specifically required under the *Purpose and Scope* section of this report. This assessment did not include engineering calculations to determine the adequacy of the Property's original design or existing systems. Although walk-through observations were performed, not all areas may have been observed (see Section 1 for specific details). There may be defects in the Property, which were in areas not observed or readily accessible, may not have been visible, or were not disclosed by management personnel when questioned. The report describes property conditions at the time that the observations and research were conducted.

This report has been prepared on behalf of and exclusively for the use of the Client for the purpose stated within the *Purpose and Scope* section of this report. The report, or any excerpt thereof, shall not be used by any party other than the Client or for any other purpose than that specifically stated in our agreement or within the *Purpose and Scope* section of this report without the express written consent of EMG.

Any reuse or distribution of this report without such consent shall be at the Client and the recipient's sole risk, without liability to EMG.

Prepared by: Kay van der Have & Adrian Reth,
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Reviewed by:



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Technical Report Reviewer for
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FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

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23 Appendices

Appendix A: Photographic Record

Appendix B: Replacement Reserves

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

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Appendix A: Photographic Record

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FACILITY CONDITION ASSESSMENT

PARK RESTROOMS - SNACK SHACKS

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#1 DIXON LANDING



#2 DIXON LANDING



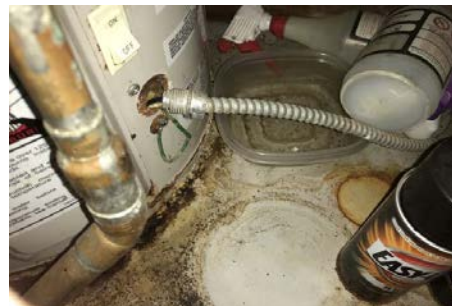
#3 DIXON LANDING



#4 DIXON LANDING KITCHEN COUNTER



#5 DIXON LANDING TOILET PARTITIONS,



#6 DIXON LANDING WATER HEATER, ELECTRIC

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FACILITY CONDITION ASSESSMENT

PARK RESTROOMS - SNACK SHACKS

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#7

RUSSELL MIDDLE RESTROOM,
EXTERIOR



#8

RUSSELL MIDDLE, ROTTING
EXTERIOR SIDING



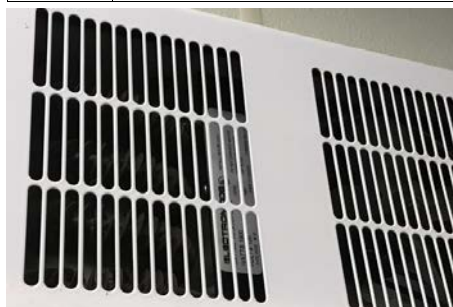
#9

RUSSELL MIDDLE RESTROOM
EXTERIOR STEEL DOOR



#10

RUSSELL MIDDLE RESTROOM
TOILET PARTITIONS



#11

RUSSELL MIDDLE RESTROOM,
HEATER



#12

RUSSELL MIDDLE RESTROOM,
WATER HEATER

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FACILITY CONDITION ASSESSMENT

PARK RESTROOMS - SNACK SHACKS

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#13 RUSSELL SECONDARY TRANSFORMER



#14 RUSSELL MIDDLE RESTROOM, DISTRIBUTION PANEL, 208 Y, 120 V, 100 AMP



#15 CARDOZA, EXTERIOR



#16 CARDOZA ROOF, MODIFIED BITUMINOUS



#17 CARDOZA PARK RESTROOMS - HAND DRYER



#18 CARDOZA PARK RESTROOMS

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FACILITY CONDITION ASSESSMENT

PARK RESTROOMS - SNACK SHACKS

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#19 AUGUSTINE REAR ELEVATION



#20 AUGUSTINE PARK RESTROOM



#21 DETERIORATION AT AUGUSTINE



#22 AUGUSTINE, SINK



#23 AUGUSTINE DISTRIBUTION
PANEL, 208 Y, 120 V, 100 AMP,



#24 AUGUSTINE DRINKING
FOUNTAIN, DAMAGED

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FACILITY CONDITION ASSESSMENT

PARK RESTROOMS - SNACK SHACKS

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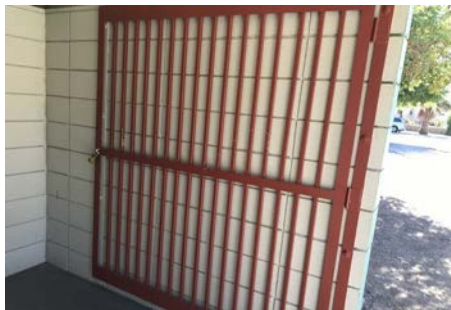
#25

AUGUSTINE PLUMBING



#26

AUGUSTINE LIGHT DIMMING
PANEL



#27

AUGUSTINE, GATES, METAL
TUBE



#28

GILL MEMORIAL PARK



#29

GILL, DAMAGED RAFTER TAILS



#30

GILL, FLOOR COVERING

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APPENDIX: FACILITY CONDITION ASSESSMENT

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS - SNACK SHACKS

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#31 GILL, LIGHT DIMMING PANELS



#32 GILL, SWITCHBOARD



#33 JOSE HIGUERA FRONT ELEVATION



#34 JOSE HIGUERA INTERIOR WALL FINISH



#35 JOSE HIGUERA RESTROOM



#36 JOSE HIGUERA, CEILING

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FACILITY CONDITION ASSESSMENT

PARK RESTROOMS - SNACK SHACKS

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#37

JOSE HIGUERA, EXTERIOR LIGHTING



#38

JOSE HIGUERA DISTRIBUTION PANEL



#39

STARLIGHT PARK RESTROOM



#40

STARLIGHT, TERMITE/ROT DAMAGE



#41

STARLIGHT



#42

STARLIGHT, DISTRIBUTION PANEL

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APPENDIX: FACILITY CONDITION ASSESSMENT

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS - SNACK SHACKS

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#43 JOHN MCDERMOTT, EXTERIOR



#44 JOHN MCDERMOTT, SINK



#45 JOHN MCDERMOTT, DISTRIBUTION PANEL



#46 JOHN MCDERMOTT, INTERIOR LIGHTING



#47 HALL MEMORIAL, EXTERIOR



#48 HALL MEMORIAL EXTERIOR DOOR

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FACILITY CONDITION ASSESSMENT

PARK RESTROOMS - SNACK SHACKS

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#49

HALL MEMORIAL PARK, FASCIA DAMAGE



#50

HALL MEMORIAL, SINK/LAVATORY, STAINLESS STEEL



#51

PARC METRO EAST, FRONT AND RIGHT ELEVATION



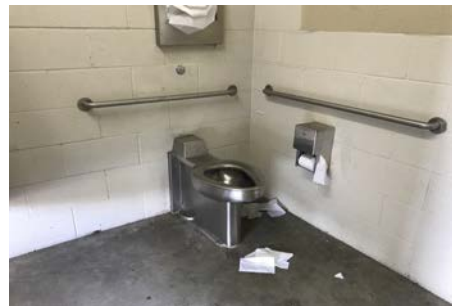
#52

METRO PARC EAST, LEFT AND REAR ELEVATION



#53

PARC METRO EAST, MANY DAMAGED ROOF TILES



#54

PARC METRO EAST, TANKLESS TOILET

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APPENDIX: FACILITY CONDITION ASSESSMENT

FACILITY CONDITION ASSESSMENT

PARK RESTROOMS - SNACK SHACKS

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#55

BOB MCGUIRE PARK
RESTROOM



#56

BOB MCGUIRE RESTROOM



#57

BOB MCGUIRE PARK TOILET
PARTITIONS



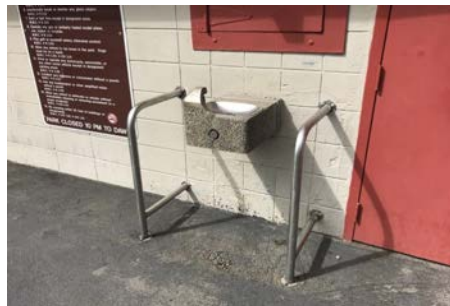
#58

BOB MCGUIRE PARK, STAINED
CONCRETE



#59

PINEWOOD PARK RESTROOM
FRONT AND LEFT ELEVATION



#60

PINEWOOD, WATER FOUNTAIN

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FACILITY CONDITION ASSESSMENT

PARK RESTROOMS - SNACK SHACKS

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#61 PINEWOOD SINK



#62 PINEWOOD EPOXY FLOOR COATING DEGRADATION



#63 FOOTHILL PARK RESTROOM



#64 FOOTHILL PARK TOILET



#65 FOOTHILL PARK, STRUCTURAL CRACK



#66 MURPHY PARK RESTROOM

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PARK RESTROOMS - SNACK SHACKS

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#67

MURPHY PARK ROOF



#68

CERANO PARK RESTROOM



#69

CERANO PARK REAR
ELEVATION



#70

SINNOTT PARK RESTROOM



#71

SINNOTT PARK ROOF, MODIFIED
BITUMINOUS



#72

SINNOTT DISTRIBUTION PANEL

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FACILITY CONDITION ASSESSMENT

PARK RESTROOMS AND SNACK SHACKS

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Appendix B: Replacement Reserves

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FACILITY CONDITION ASSESSMENT

D-88 CITY OF MILPITAS PARKS & RECREATION MASTER PLAN

FACILITY CONDITION ASSESSMENT

Uniform Code/Location/Description/D	Cost Description	Quantity/Unit	Unit Cost	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	2101	2102	2103	2104	2105	2106	2107	2108	2109	2110	2111	2112	2113	2114	2115	2116	2117	2118	2119	2120	2121	2122	2123	2124	2125	2126	2127	2128	2129	2130	2131	2132	2133	2134	2135	2136	2137	2138	2139	2140	2141	2142	2143	2144	2145	2146	2147	2148	2149	2150	2151	2152	2153	2154	2155	2156	2157	2158	2159	2160	2161	2162	2163	2164	2165	2166	2167	2168	2169	2170	2171	2172	2173	2174	2175	2176	2177	2178	2179	2180	2181	2182	2183	2184	2185	2186	2187	2188	2189	2190	2191	2192	2193	2194	2195	2196	2197	2198	2199	2200	2201	2202	2203	2204	2205	2206	2207	2208	2209	2210	2211	2212	2213	2214	2215	2216	2217	2218	2219	2220	2221	2222	2223	2224	2225	2226	2227	2228	2229	2230	2231	2232	2233	2234	2235	2236	2237	2238	2239	2240	2241	2242	2243	2244	2245	2246	2247	2248	2249	2250	2251	2252	2253	2254	2255	2256	2257	2258	2259	2260	2261	2262	2263	2264	2265	2266	2267	2268	2269	2270	2271	2272	2273	2274	2275	2276	2277	2278	2279	2280	2281	2282	2283	2284	2285	2286	2287	2288	2289	2290	2291	2292	2293	2294	2295	2296	2297	2298	2299	2300	2301	2302	2303	2304	2305	2306	2307	2308	2309	2310	2311	2312	2313	2314	2315	2316	2317	2318	2319	2320	2321	2322	2323	2324	2325	2326	2327	2328	2329	2330	2331	2332	2333	2334	2335	2336	2337	2338	2339	2340	2341	2342	2343	2344	2345	2346	2347	2348	2349	2350	2351	2352	2353	2354	2355	2356	2357	2358	2359	2360	2361	2362	2363	2364	2365	2366	2367	2368	2369	2370	2371	2372	2373	2374	2375	2376	2377	2378	2379	2380	2381	2382	2383	2384	2385	2386	2387	2388	2389	2390	2391	2392	2393	2394	2395	2396	2397	2398	2399	2400	2401	2402	2403	2404	2405	2406	2407	2408	2409	2410	2411	2412	2413	2414	2415	2416	2417	2418	2419	2420	2421	2422	2423	2424	2425	2426	2427	2428	2429	2430	2431	2432	2433	2434	2435	2436	2437	2438	2439	2440	2441	2442	2443	2444	2445	2446	2447	2448	2449	2450	2451	2452	2453	2454	2455	2456	2457	2458	2459	2460	2461	2462	2463	2464	2465	2466	2467	2468	2469	2470	2471	2472	2473	2474	2475	2476	2477	2478	2479	2480	2481	2482	2483	2484	2485	2486	2487	2488	2489	2490	2491	2492	2493	2494	2495	2496	2497	2498	2499	2500	2501	2502	2503	2504	2505	2506	2507	2508	2509	2510	2511	2512	2513	2514	2515	2516	2517	2518	2519	2520	2521	2522	2523	2524	2525	2526	2527	2528	2529	2530	2531	2532	2533	2534	2535	2536	2537	2538	2539	2540	2541	2542	2543	2544	2545	2546	2547	2548	2549	2550	2551	2552	2553	2554	2555	2556	2557	2558	2559	2560	2561	2562	2563	2564	2565	2566	2567	2568	2569	2570	2571	2572	2573	2574	2575	2576	2577	2578	2579	2580	2581	2582	2583	2584	2585	2586	2587	2588	2589	2590	2591	2592	2593	2594	2595	2596	2597	2598	2599	2600	2601	2602	2603	2604	2605	2606	2607	2608	2609	2610	2611	2612	2613	2614	2615	2616	2617	2618	2619	2620	2621	2622	2623	2624	2625	2626	2627	2628	2629	2630	2631	2632	2633	2634	2635	2636	2637	2638	2639	2640	2641	2642	2643	2644	2645	2646	2647	2648	2649	2650	2651	2652	2653	2654	2655	2656	2657	2658	2659	2660	2661	2662	2663	2664	2665	2666	2667	2668	2669	2670	2671	2672	2673	2674	2675	2676	2677	2678	2679	2680	2681	2682	2683	2684	2685	2686	2687	2688	2689	2690	2691	2692	2693	2694	2695	2696	2697	2698	2699	2700	2701	2702	2703	2704	2705	2706	2707	2708	2709	2710	2711	2712	2713	2714	2715	2716	2717	2718	2719	2720	2721	2722	2723	2724	2725	2726	2727	2728	2729	2730	2731	2732	2733	2734	2735	2736	2737	2738	2739	2740	2741	2742	2743	2744	2745	2746	2747	2748	2749	2750	2751	2752	2753	2754	2755	2756	2757	2758	2759	2760	2761	2762	2763	2764	2765	2766	2767	2768	2769	2770	2771	2772	2773	2774	2775	2776	2777	2778	2779	2780	2781	2782	2783	2784	2785	2786	2787	2788	2789	2790	2791	2792	2793	2794	2795	2796	2797	2798	2799	2800	2801	2802	2803	2804	2805	2806	2807	2808	2809	2810	2811	2812	2813	2814	2815	2816	2817	2818	2819	2820	2821	2822	2823	2824	2825	2826	2827	2828	2829	2830	2831	2832	2833	2834	2835	2836	2837	2838	2839	2840	2841	2842	2843	2844	2845	2846	2847	2848	2849	2850	2851	2852	2853	2854	2855	2856	2857	2858	2859	2860	2861	2862	2863	2864	2865	2866	2867	2868	2869	2870	2871	2872	2873	2874	2875	2876	2877	2878	2879	2880	2881	2882	2883	2884	2885	2886	2887	2888	2889	2890	2891	2892	2893	2894	2895	2896	2897	2898	2899	2900	2901	2902	2903	2904	2905	2906	2907	2908	2909	2910	2911	2912	2913	2914	2915	2916	2917	2918	2919	2920	2921	2922	2923	2924	2925	2926	2927	2928	2929	2930	2931	2932	2933	2934	2935	2936	2937	2938	2939	2940	2941	2942	2943	2944	2945	2946	2947	2948	2949	2950	2951	2952	2953	2954	2955	2956	2957	2958	2959	2960	2961	2962	2963	2964	2965	2966	2967	2968	2969	2970	2971	2972	2973	2974	2975	2976	2977	2978	2979	2980	2981	2982	2983	2984	2985	2986	2987	2988	2989	2990	2991	2992	2993	2994	2995	2996	2997	2998	2999	3000	3001	3002	3003	3004	3005	3006	3007	3008	3009	3010	3011	3012	3013	3014	3015	3016	3017	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APPENDIX: FACILITY CONDITION ASSESSMENT

FACILITY CONDITION ASSESSMENT

Uniform Condition Description ID		Cost Description		LifeSpan	EU/Eq	Age	RUL	Quantity	Unit Cost	W/Map	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	2101	2102	2103	2104	2105	2106	2107	2108	2109	2110	2111	2112	2113	2114	2115	2116	2117	2118	2119	2120	2121	2122	2123	2124	2125	2126	2127	2128	2129	2130	2131	2132	2133	2134	2135	2136	2137	2138	2139	2140	2141	2142	2143	2144	2145	2146	2147	2148	2149	2150	2151	2152	2153	2154	2155	2156	2157	2158	2159	2160	2161	2162	2163	2164	2165	2166	2167	2168	2169	2170	2171	2172	2173	2174	2175	2176	2177	2178	2179	2180	2181	2182	2183	2184	2185	2186	2187	2188	2189	2190	2191	2192	2193	2194	2195	2196	2197	2198	2199	2200	2201	2202	2203	2204	2205	2206	2207	2208	2209	2210	2211	2212	2213	2214	2215	2216	2217	2218	2219	2220	2221	2222	2223	2224	2225	2226	2227	2228	2229	2230	2231	2232	2233	2234	2235	2236	2237	2238	2239	2240	2241	2242	2243	2244	2245	2246	2247	2248	2249	2250	2251	2252	2253	2254	2255	2256	2257	2258	2259	2260	2261	2262	2263	2264	2265	2266	2267	2268	2269	2270	2271	2272	2273	2274	2275	2276	2277	2278	2279	2280	2281	2282	2283	2284	2285	2286	2287	2288	2289	2290	2291	2292	2293	2294	2295	2296	2297	2298	2299	2300	2301	2302	2303	2304	2305	2306	2307	2308	2309	2310	2311	2312	2313	2314	2315	2316	2317	2318	2319	2320	2321	2322	2323	2324	2325	2326	2327	2328	2329	2330	2331	2332	2333	2334	2335	2336	2337	2338	2339	2340	2341	2342	2343	2344	2345	2346	2347	2348	2349	2350	2351	2352	2353	2354	2355	2356	2357	2358	2359	2360	2361	2362	2363	2364	2365	2366	2367	2368	2369	2370	2371	2372	2373	2374	2375	2376	2377	2378	2379	2380	2381	2382	2383	2384	2385	2386	2387	2388	2389	2390	2391	2392	2393	2394	2395	2396	2397	2398	2399	2400	2401	2402	2403	2404	2405	2406	2407	2408	2409	2410	2411	2412	2413	2414	2415	2416	2417	2418	2419	2420	2421	2422	2423	2424	2425	2426	2427	2428	2429	2430	2431	2432	2433	2434	2435	2436	2437	2438	2439	2440	2441	2442	2443	2444	2445	2446	2447	2448	2449	2450	2451	2452	2453	2454	2455	2456	2457	2458	2459	2460	2461	2462	2463	2464	2465	2466	2467	2468	2469	2470	2471	2472	2473	2474	2475	2476	2477	2478	2479	2480	2481	2482	2483	2484	2485	2486	2487	2488	2489	2490	2491	2492	2493	2494	2495	2496	2497	2498	2499	2500	2501	2502	2503	2504	2505	2506	2507	2508	2509	2510	2511	2512	2513	2514	2515	2516	2517	2518	2519	2520	2521	2522	2523	2524	2525	2526	2527	2528	2529	2530	2531	2532	2533	2534	2535	2536	2537	2538	2539	2540	2541	2542	2543	2544	2545	2546	2547	2548	2549	2550	2551	2552	2553	2554	2555	2556	2557	2558	2559	2560	2561	2562	2563	2564	2565	2566	2567	2568	2569	2570	2571	2572	2573	2574	2575	2576	2577	2578	2579	2580	2581	2582	2583	2584	2585	2586	2587	2588	2589	2590	2591	2592	2593	2594	2595	2596	2597	2598	2599	2600	2601	2602	2603	2604	2605	2606	2607	2608	2609	2610	2611	2612	2613	2614	2615	2616	2617	2618	2619	2620	2621	2622	2623	2624	2625	2626	2627	2628	2629	2630	2631	2632	2633	2634	2635	2636	2637	2638	2639	2640	2641	2642	2643	2644	2645	2646	2647	2648	2649	2650	2651	2652	2653	2654	2655	2656	2657	2658	2659	2660	2661	2662	2663	2664	2665	2666	2667	2668	2669	2670	2671	2672	2673	2674	2675	2676	2677	2678	2679	2680	2681	2682	2683	2684	2685	2686	2687	2688	2689	2690	2691	2692	2693	2694	2695	2696	2697	2698	2699	2700	2701	2702	2703	2704	2705	2706	2707	2708	2709	2710	2711	2712	2713	2714	2715	2716	2717	2718	2719	2720	2721	2722	2723	2724	2725	2726	2727	2728	2729	2730	2731	2732	2733	2734	2735	2736	2737	2738	2739	2740	2741	2742	2743	2744	2745	2746	2747	2748	2749	2750	2751	2752	2753	2754	2755	2756	2757	2758	2759	2760	2761	2762	2763	2764	2765	2766	2767	2768	2769	2770	2771	2772	2773	2774	2775	2776	2777	2778	2779	2780	2781	2782	2783	2784	2785	2786	2787	2788	2789	2790	2791	2792	2793	2794	2795	2796	2797	2798	2799	2800	2801	2802	2803	2804	2805	2806	2807	2808	2809	2810	2811	2812	2813	2814	2815	2816	2817	2818	2819	2820	2821	2822	2823	2824	2825	2826	2827	2828	2829	2830	2831	2832	2833	2834	2835	2836	2837	2838	2839	2840	2841	2842	2843	2844	2845	2846	2847	2848	2849	2850	2851	2852	2853	2854	2855	2856	2857	2858	2859	2860	2861	2862	2863	2864	2865	2866	2867	2868	2869	2870	2871	2872	2873	2874	2875	2876	2877	2878	2879	2880	2881	2882	2883	2884	2885	2886	2887	2888	2889	2890	2891	2892	2893	2894	2895	2896	2897	2898	2899	2900	2901	2902	2903	2904	2905	2906	2907	2908	2909	2910	2911	2912	2913	2914	2915	2916	2917	2918	2919	2920	2921	2922	2923	2924	2925	2926	2927	2928	2929	2930	2931	2932	2933	2934	2935	2936	2937	2938	2939	2940	2941	2942	2943	2944	2945	2946	2947	2948	2949	2950	2951	2952	2953	2954	2955	2956	2957	2958	2959	2960	2961	2962	2963	2964	2965	2966	2967	2968	2969	2970	2971	2972	2973	2974	2975	2976	2977	2978	2979	2980	2981	2982	2983	2984	2985	2986	2987	2988	2989	2990	2991	2992	2993	2994	2995	2996	2997	2998	2999	3000	3001	3002	3003	3004	3005	3006	3007	3008	3009	3010	3011	3012	3013	3014	3015	3016	3017	3018	3019	3020	3021	3022	3023	3024	3025	3026	3027	3028	3029	3030	3031	3032	3033	3034	3035	3036	3037	3038	3039	3040	3041	3042	3043	3044	3045	3046	3047	3048	3049	3050	3051	3052	3053	3054	3055	3056	3057	3058	3059	3060	3061	3062	3063	3064	3065	3066	3067	3068	3069	3070	3071	3072	3073	3074	3075	3076	3077	3078	3079	3080	3081	3082	3083	3084	3085	3086	3087	3088	3089	3090	3091	3092	3093	3094	3095	3096	3097	3098	3099	3100	3101	3102	3103	3104	3105	3106	3107	3108	3109	3110	3111	3112	3113	3114	3115	3116	3117	3118	3119	3120	3121	3122	3123	3124	3125	3126	3127	3128	3129	3130	3131	3132	3133	3134	3135	3136	3137	3138	3139	3140	3141	3142	3143	3144	3145	3146	3147	3148	3149	3150	3151	3152	3153	3154	3155	3156	3157	3158	3159	3160	3161	3162	3163	3164	3165	3166	3167	3168	3169	3170	3171	3172	3173	3174	3175	3176	3177	3178	3179	3180	3181	3182	3183	3184	3185	3186	3187	3188	3189	3190	3191	3192	3193	3194	3195	3196	3197	3198	3199	3200	3201	3202	3203	3204	3205	3206	3207	3208	3209	3210	3211	3212	3213	3214	3215	3216	3217	3218	3219	3220	3221	3222	3223	3224	3225	3226	3227	3228	3229	3230	3231	3232	3233	3234	3235	3236	3237	3238	3239	3240	3241	3242	3243	3244	3245	3246	3247	3248	3249	3250	3251	3252	3253	3254	3255	3256	3257	3258	3259	3260	3261	3262	3263	3264	3265	3266	3267	3268	3269	3270	3271	3272	3273	3274	3275	3276	3277	3278	3279	3280	3281	3282	3283	3284	3285	3286	3287	3288	3289	3290	3291	3292	3293	3294	3295	3296	3297	3298	3299	3300	3301	3302	3303	3304	3305	3306	3307	3308	3309	3310	3311	3312	3313	3314	3315	3316	3317	3318	3319	3320	3321	3322	3323	3324	3325	3326	3327	3328	3329	3330	3331	3332	3333	3334	3335	3336	3337	3338	3339	3340	3341	3342	3343	3344	3345	3346	3347	3348	3349	3350	3351	3352	3353	3354	3355	3356	3357	3358	3359	3360	3361	3362	3363	3364	3365	3366	3367	3368	3369	337
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FACILITY CONDITION ASSESSMENT

Park Restrooms - Stock Shade - Hal Memorial Park			Lifespan (E/LM) Age			RUL			Unit Cost of Makeup / Subtotal			2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	2101	2102	2103	2104	2105	2106	2107	2108	2109	2110	2111	2112	2113	2114	2115	2116	2117	2118	2119	2120	2121	2122	2123	2124	2125	2126	2127	2128	2129	2130	2131	2132	2133	2134	2135	2136	2137	2138	2139	2140	2141	2142	2143	2144	2145	2146	2147	2148	2149	2150	2151	2152	2153	2154	2155	2156	2157	2158	2159	2160	2161	2162	2163	2164	2165	2166	2167	2168	2169	2170	2171	2172	2173	2174	2175	2176	2177	2178	2179	2180	2181	2182	2183	2184	2185	2186	2187	2188	2189	2190	2191	2192	2193	2194	2195	2196	2197	2198	2199	2200	2201	2202	2203	2204	2205	2206	2207	2208	2209	2210	2211	2212	2213	2214	2215	2216	2217	2218	2219	2220	2221	2222	2223	2224	2225	2226	2227	2228	2229	2230	2231	2232	2233	2234	2235	2236	2237	2238	2239	2240	2241	2242	2243	2244	2245	2246	2247	2248	2249	2250	2251	2252	2253	2254	2255	2256	2257	2258	2259	2260	2261	2262	2263	2264	2265	2266	2267	2268	2269	2270	2271	2272	2273	2274	2275	2276	2277	2278	2279	2280	2281	2282	2283	2284	2285	2286	2287	2288	2289	2290	2291	2292	2293	2294	2295	2296	2297	2298	2299	2300	2301	2302	2303	2304	2305	2306	2307	2308	2309	2310	2311	2312	2313	2314	2315	2316	2317	2318	2319	2320	2321	2322	2323	2324	2325	2326	2327	2328	2329	2330	2331	2332	2333	2334	2335	2336	2337	2338	2339	2340	2341	2342	2343	2344	2345	2346	2347	2348	2349	2350	2351	2352	2353	2354	2355	2356	2357	2358	2359	2360	2361	2362	2363	2364	2365	2366	2367	2368	2369	2370	2371	2372	2373	2374	2375	2376	2377	2378	2379	2380	2381	2382	2383	2384	2385	2386	2387	2388	2389	2390	2391	2392	2393	2394	2395	2396	2397	2398	2399	2400	2401	2402	2403	2404	2405	2406	2407	2408	2409	2410	2411	2412	2413	2414	2415	2416	2417	2418	2419	2420	2421	2422	2423	2424	2425	2426	2427	2428	2429	2430	2431	2432	2433	2434	2435	2436	2437	2438	2439	2440	2441	2442	2443	2444	2445	2446	2447	2448	2449	2450	2451	2452	2453	2454	2455	2456	2457	2458	2459	2460	2461	2462	2463	2464	2465	2466	2467	2468	2469	2470	2471	2472	2473	2474	2475	2476	2477	2478	2479	2480	2481	2482	2483	2484	2485	2486	2487	2488	2489	2490	2491	2492	2493	2494	2495	2496	2497	2498	2499	2500	2501	2502	2503	2504	2505	2506	2507	2508	2509	2510	2511	2512	2513	2514	2515	2516	2517	2518	2519	2520	2521	2522	2523	2524	2525	2526	2527	2528	2529	2530	2531	2532	2533	2534	2535	2536	2537	2538	2539	2540	2541	2542	2543	2544	2545	2546	2547	2548	2549	2550	2551	2552	2553	2554	2555	2556	2557	2558	2559	2560	2561	2562	2563	2564	2565	2566	2567	2568	2569	2570	2571	2572	2573	2574	2575	2576	2577	2578	2579	2580	2581	2582	2583	2584	2585	2586	2587	2588	2589	2590	2591	2592	2593	2594	2595	2596	2597	2598	2599	2600	2601	2602	2603	2604	2605	2606	2607	2608	2609	2610	2611	2612	2613	2614	2615	2616	2617	2618	2619	2620	2621	2622	2623	2624	2625	2626	2627	2628	2629	2630	2631	2632	2633	2634	2635	2636	2637	2638	2639	2640	2641	2642	2643	2644	2645	2646	2647	2648	2649	2650	2651	2652	2653	2654	2655	2656	2657	2658	2659	2660	2661	2662	2663	2664	2665	2666	2667	2668	2669	2670	2671	2672	2673	2674	2675	2676	2677	2678	2679	2680	2681	2682	2683	2684	2685	2686	2687	2688	2689	2690	2691	2692	2693	2694	2695	2696	2697	2698	2699	2700	2701	2702	2703	2704	2705	2706	2707	2708	2709	2710	2711	2712	2713	2714	2715	2716	2717	2718	2719	2720	2721	2722	2723	2724	2725	2726	2727	2728	2729	2730	2731	2732	2733	2734	2735	2736	2737	2738	2739	2740	2741	2742	2743	2744	2745	2746	2747	2748	2749	2750	2751	2752	2753	2754	2755	2756	2757	2758	2759	2760	2761	2762	2763	2764	2765	2766	2767	2768	2769	2770	2771	2772	2773	2774	2775	2776	2777	2778	2779	2780	2781	2782	2783	2784	2785	2786	2787	2788	2789	2790	2791	2792	2793	2794	2795	2796	2797	2798	2799	2800	2801	2802	2803	2804	2805	2806	2807	2808	2809	2810	2811	2812	2813	2814	2815	2816	2817	2818	2819	2820	2821	2822	2823	2824	2825	2826	2827	2828	2829	2830	2831	2832	2833	2834	2835	2836	2837	2838	2839	2840	2841	2842	2843	2844	2845	2846	2847	2848	2849	2850	2851	2852	2853	2854	2855	2856	2857	2858	2859	2860	2861	2862	2863	2864	2865	2866	2867	2868	2869	2870	2871	2872	2873	2874	2875	2876	2877	2878	2879	2880	2881	2882	2883	2884	2885	2886	2887	2888	2889	2890	2891	2892	2893	2894	2895	2896	2897	2898	2899	2900	2901	2902	2903	2904	2905	2906	2907	2908	2909	2910	2911	2912	2913	2914	2915	2916	2917	2918	2919	2920	2921	2922	2923	2924	2925	2926	2927	2928	2929	2930	2931	2932	2933	2934	2935	2936	2937	2938	2939	2940	2941	2942	2943	2944	2945	2946	2947	2948	2949	2950	2951	2952	2953	2954	2955	2956	2957	2958	2959	2960	2961	2962	2963	2964	2965	2966	2967	2968	2969	2970	2971	2972	2973	2974	2975	2976	2977	2978	2979	2980	2981	2982	2983	2984	2985	2986	2987	2988	2989	2990	2991	2992	2993	2994	2995	2996	2997	2998	2999	3000	3001	3002	3003	3004	3005	3006	3007	3008	3009	3010	3011	3012	3013	3014	3015	3016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APPENDIX: FACILITY CONDITION ASSESSMENT

FACILITY CONDITION ASSESSMENT

Uniform Condition DescriptionID	Cost Description	Uplifted (BULE) Edge	RUL	Quantity/ft	Unit Cost of Material Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	2101	2102	2103	2104	2105	2106	2107	2108	2109	2110	2111	2112	2113	2114	2115	2116	2117	2118	2119	2120	2121	2122	2123	2124	2125	2126	2127	2128	2129	2130	2131	2132	2133	2134	2135	2136	2137	2138	2139	2140	2141	2142	2143	2144	2145	2146	2147	2148	2149	2150	2151	2152	2153	2154	2155	2156	2157	2158	2159	2160	2161	2162	2163	2164	2165	2166	2167	2168	2169	2170	2171	2172	2173	2174	2175	2176	2177	2178	2179	2180	2181	2182	2183	2184	2185	2186	2187	2188	2189	2190	2191	2192	2193	2194	2195	2196	2197	2198	2199	2200	2201	2202	2203	2204	2205	2206	2207	2208	2209	2210	2211	2212	2213	2214	2215	2216	2217	2218	2219	2220	2221	2222	2223	2224	2225	2226	2227	2228	2229	2230	2231	2232	2233	2234	2235	2236	2237	2238	2239	2240	2241	2242	2243	2244	2245	2246	2247	2248	2249	2250	2251	2252	2253	2254	2255	2256	2257	2258	2259	2260	2261	2262	2263	2264	2265	2266	2267	2268	2269	2270	2271	2272	2273	2274	2275	2276	2277	2278	2279	2280	2281	2282	2283	2284	2285	2286	2287	2288	2289	2290	2291	2292	2293	2294	2295	2296	2297	2298	2299	2300	2301	2302	2303	2304	2305	2306	2307	2308	2309	2310	2311	2312	2313	2314	2315	2316	2317	2318	2319	2320	2321	2322	2323	2324	2325	2326	2327	2328	2329	2330	2331	2332	2333	2334	2335	2336	2337	2338	2339	2340	2341	2342	2343	2344	2345	2346	2347	2348	2349	2350	2351	2352	2353	2354	2355	2356	2357	2358	2359	2360	2361	2362	2363	2364	2365	2366	2367	2368	2369	2370	2371	2372	2373	2374	2375	2376	2377	2378	2379	2380	2381	2382	2383	2384	2385	2386	2387	2388	2389	2390	2391	2392	2393	2394	2395	2396	2397	2398	2399	2400	2401	2402	2403	2404	2405	2406	2407	2408	2409	2410	2411	2412	2413	2414	2415	2416	2417	2418	2419	2420	2421	2422	2423	2424	2425	2426	2427	2428	2429	2430	2431	2432	2433	2434	2435	2436	2437	2438	2439	2440	2441	2442	2443	2444	2445	2446	2447	2448	2449	2450	2451	2452	2453	2454	2455	2456	2457	2458	2459	2460	2461	2462	2463	2464	2465	2466	2467	2468	2469	2470	2471	2472	2473	2474	2475	2476	2477	2478	2479	2480	2481	2482	2483	2484	2485	2486	2487	2488	2489	2490	2491	2492	2493	2494	2495	2496	2497	2498	2499	2500	2501	2502	2503	2504	2505	2506	2507	2508	2509	2510	2511	2512	2513	2514	2515	2516	2517	2518	2519	2520	2521	2522	2523	2524	2525	2526	2527	2528	2529	2530	2531	2532	2533	2534	2535	2536	2537	2538	2539	2540	2541	2542	2543	2544	2545	2546	2547	2548	2549	2550	2551	2552	2553	2554	2555	2556	2557	2558	2559	2560	2561	2562	2563	2564	2565	2566	2567	2568	2569	2570	2571	2572	2573	2574	2575	2576	2577	2578	2579	2580	2581	2582	2583	2584	2585	2586	2587	2588	2589	2590	2591	2592	2593	2594	2595	2596	2597	2598	2599	2600	2601	2602	2603	2604	2605	2606	2607	2608	2609	2610	2611	2612	2613	2614	2615	2616	2617	2618	2619	2620	2621	2622	2623	2624	2625	2626	2627	2628	2629	2630	2631	2632	2633	2634	2635	2636	2637	2638	2639	2640	2641	2642	2643	2644	2645	2646	2647	2648	2649	2650	2651	2652	2653	2654	2655	2656	2657	2658	2659	2660	2661	2662	2663	2664	2665	2666	2667	2668	2669	2670	2671	2672	2673	2674	2675	2676	2677	2678	2679	2680	2681	2682	2683	2684	2685	2686	2687	2688	2689	2690	2691	2692	2693	2694	2695	2696	2697	2698	2699	2700	2701	2702	2703	2704	2705	2706	2707	2708	2709	2710	2711	2712	2713	2714	2715	2716	2717	2718	2719	2720	2721	2722	2723	2724	2725	2726	2727	2728	2729	2730	2731	2732	2733	2734	2735	2736	2737	2738	2739	2740	2741	2742	2743	2744	2745	2746	2747	2748	2749	2750	2751	2752	2753	2754	2755	2756	2757	2758	2759	2760	2761	2762	2763	2764	2765	2766	2767	2768	2769	2770	2771	2772	2773	2774	2775	2776	2777	2778	2779	2780	2781	2782	2783	2784	2785	2786	2787	2788	2789	2790	2791	2792	2793	2794	2795	2796	2797	2798	2799	2800	2801	2802	2803	2804	2805	2806	2807	2808	2809	2810	2811	2812	2813	2814	2815	2816	2817	2818	2819	2820	2821	2822	2823	2824	2825	2826	2827	2828	2829	2830	2831	2832	2833	2834	2835	2836	2837	2838	2839	2840	2841	2842	2843	2844	2845	2846	2847	2848	2849	2850	2851	2852	2853	2854	2855	2856	2857	2858	2859	2860	2861	2862	2863	2864	2865	2866	2867	2868	2869	2870	2871	2872	2873	2874	2875	2876	2877	2878	2879	2880	2881	2882	2883	2884	2885	2886	2887	2888	2889	2890	2891	2892	2893	2894	2895	2896	2897	2898	2899	2900	2901	2902	2903	2904	2905	2906	2907	2908	2909	2910	2911	2912	2913	2914	2915	2916	2917	2918	2919	2920	2921	2922	2923	2924	2925	2926	2927	2928	2929	2930	2931	2932	2933	2934	2935	2936	2937	2938	2939	2940	2941	2942	2943	2944	2945	2946	2947	2948	2949	2950	2951	2952	2953	2954	2955	2956	2957	2958	2959	2960	2961	2962	2963	2964	2965	2966	2967	2968	2969	2970	2971	2972	2973	2974	2975	2976	2977	2978	2979	2980	2981	2982	2983	2984	2985	2986	2987	2988	2989	2990	2991	2992	2993	2994	2995	2996	2997	2998	2999	3000	3001	3002	3003	3004	3005	3006	3007	3008	3009	3010	3011	3012	3013	3014	3015	3016	3017	3018	3019	3020	3021	3022	3023	3024	3025	3026	3027	3028	3029	3030	3031	3032	3033	3034	3035	3036	3037	3038	3039	3040	3041	3042	3043	3044	3045	3046	3047	3048	3049	3050	3051	3052	3053	3054	3055	3056	3057	3058	3059	3060	3061	3062	3063	3064	3065	3066	3067	3068	3069	3070	3071	3072	3073	3074	3075	3076	3077	3078	3079	3080	3081	3082	3083	3084	3085	3086	3087	3088	3089	3090	3091	3092	3093	3094	3095	3096	3097	3098	3099	3100	3101	3102	3103	3104	3105	3106	3107	3108	3109	3110	3111	3112	3113	3114	3115	3116	3117	3118	3119	3120	3121	3122	3123	3124	3125	3126	3127	3128	3129	3130	3131	3132	3133	3134	3135	3136	3137	3138	3139	3140	3141	3142	3143	3144	3145	3146	3147	3148	3149	3150	3151	3152	3153	3154	3155	3156	3157	3158	3159	3160	3161	3162	3163	3164	3165	3166	3167	3168	3169	3170	3171	3172	3173	3174	3175	3176	3177	3178	3179	3180	3181	3182	3183	3184	3185	3186	3187	3188	3189	3190	3191	3192	3193	3194	3195	3196	3197	3198	3199	3200	3201	3202	3203	3204	3205	3206	3207	3208	3209	3210	3211	3212	3213	3214	3215	3216	3217	3218	3219	3220	3221	3222	3223	3224	3225	3226	3227	3228	3229	3230	3231	3232	3233	3234	3235	3236	3237	3238	3239	3240	3241	3242	3243	3244	3245	3246	3247	3248	3249	3250	3251	3252	3253	3254	3255	3256	3257	3258	3259	3260	3261	3262	3263	3264	3265	3266	3267	3268	3269	3270	3271	3272	3273	3274	3275	3276	3277	3278	3279	3280	3281	3282	3283	3284	3285	3286	3287	3288	3289	3290	3291	3292	3293	3294	3295	3296	3297	3298	3299	3300	3301	3302	3303	3304	3305	3306	3307	3308	3309	3310	3311	3312	3313	3314	3315	3316	3317	3318	3319	3320	3321	3322	3323	3324	3325	3326	3327	3328	3329	3330	3331	3332	3333	3334	3335	3336	3337	3338	3339	3340	3341	3342	3343	3344	3345	3346	3347	3348	3349	3350	3351	3352	3353	3354	3355	3356	3357	3358	3359	3360	3361	3362	3363	3364	3365	3366	3367	3368	3369	33
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FACILITY CONDITION ASSESSMENT

Uniform Code Location/Description	ID	Cost Description	Lifespan (Est.)	Age	RUL	Quantity	Unit Cost	Warranty	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	2101	2102	2103	2104	2105	2106	2107	2108	2109	2110	2111	2112	2113	2114	2115	2116	2117	2118	2119	2120	2121	2122	2123	2124	2125	2126	2127	2128	2129	2130	2131	2132	2133	2134	2135	2136	2137	2138	2139	2140	2141	2142	2143	2144	2145	2146	2147	2148	2149	2150	2151	2152	2153	2154	2155	2156	2157	2158	2159	2160	2161	2162	2163	2164	2165	2166	2167	2168	2169	2170	2171	2172	2173	2174	2175	2176	2177	2178	2179	2180	2181	2182	2183	2184	2185	2186	2187	2188	2189	2190	2191	2192	2193	2194	2195	2196	2197	2198	2199	2200	2201	2202	2203	2204	2205	2206	2207	2208	2209	2210	2211	2212	2213	2214	2215	2216	2217	2218	2219	2220	2221	2222	2223	2224	2225	2226	2227	2228	2229	2230	2231	2232	2233	2234	2235	2236	2237	2238	2239	2240	2241	2242	2243	2244	2245	2246	2247	2248	2249	2250	2251	2252	2253	2254	2255	2256	2257	2258	2259	2260	2261	2262	2263	2264	2265	2266	2267	2268	2269	2270	2271	2272	2273	2274	2275	2276	2277	2278	2279	2280	2281	2282	2283	2284	2285	2286	2287	2288	2289	2290	2291	2292	2293	2294	2295	2296	2297	2298	2299	2300	2301	2302	2303	2304	2305	2306	2307	2308	2309	2310	2311	2312	2313	2314	2315	2316	2317	2318	2319	2320	2321	2322	2323	2324	2325	2326	2327	2328	2329	2330	2331	2332	2333	2334	2335	2336	2337	2338	2339	2340	2341	2342	2343	2344	2345	2346	2347	2348	2349	2350	2351	2352	2353	2354	2355	2356	2357	2358	2359	2360	2361	2362	2363	2364	2365	2366	2367	2368	2369	2370	2371	2372	2373	2374	2375	2376	2377	2378	2379	2380	2381	2382	2383	2384	2385	2386	2387	2388	2389	2390	2391	2392	2393	2394	2395	2396	2397	2398	2399	2400	2401	2402	2403	2404	2405	2406	2407	2408	2409	2410	2411	2412	2413	2414	2415	2416	2417	2418	2419	2420	2421	2422	2423	2424	2425	2426	2427	2428	2429	2430	2431	2432	2433	2434	2435	2436	2437	2438	2439	2440	2441	2442	2443	2444	2445	2446	2447	2448	2449	2450	2451	2452	2453	2454	2455	2456	2457	2458	2459	2460	2461	2462	2463	2464	2465	2466	2467	2468	2469	2470	2471	2472	2473	2474	2475	2476	2477	2478	2479	2480	2481	2482	2483	2484	2485	2486	2487	2488	2489	2490	2491	2492	2493	2494	2495	2496	2497	2498	2499	2500	2501	2502	2503	2504	2505	2506	2507	2508	2509	2510	2511	2512	2513	2514	2515	2516	2517	2518	2519	2520	2521	2522	2523	2524	2525	2526	2527	2528	2529	2530	2531	2532	2533	2534	2535	2536	2537	2538	2539	2540	2541	2542	2543	2544	2545	2546	2547	2548	2549	2550	2551	2552	2553	2554	2555	2556	2557	2558	2559	2560	2561	2562	2563	2564	2565	2566	2567	2568	2569	2570	2571	2572	2573	2574	2575	2576	2577	2578	2579	2580	2581	2582	2583	2584	2585	2586	2587	2588	2589	2590	2591	2592	2593	2594	2595	2596	2597	2598	2599	2600	2601	2602	2603	2604	2605	2606	2607	2608	2609	2610	2611	2612	2613	2614	2615	2616	2617	2618	2619	2620	2621	2622	2623	2624	2625	2626	2627	2628	2629	2630	2631	2632	2633	2634	2635	2636	2637	2638	2639	2640	2641	2642	2643	2644	2645	2646	2647	2648	2649	2650	2651	2652	2653	2654	2655	2656	2657	2658	2659	2660	2661	2662	2663	2664	2665	2666	2667	2668	2669	2670	2671	2672	2673	2674	2675	2676	2677	2678	2679	2680	2681	2682	2683	2684	2685	2686	2687	2688	2689	2690	2691	2692	2693	2694	2695	2696	2697	2698	2699	2700	2701	2702	2703	2704	2705	2706	2707	2708	2709	2710	2711	2712	2713	2714	2715	2716	2717	2718	2719	2720	2721	2722	2723	2724	2725	2726	2727	2728	2729	2730	2731	2732	2733	2734	2735	2736	2737	2738	2739	2740	2741	2742	2743	2744	2745	2746	2747	2748	2749	2750	2751	2752	2753	2754	2755	2756	2757	2758	2759	2760	2761	2762	2763	2764	2765	2766	2767	2768	2769	2770	2771	2772	2773	2774	2775	2776	2777	2778	2779	2780	2781	2782	2783	2784	2785	2786	2787	2788	2789	2790	2791	2792	2793	2794	2795	2796	2797	2798	2799	2800	2801	2802	2803	2804	2805	2806	2807	2808	2809	2810	2811	2812	2813	2814	2815	2816	2817	2818	2819	2820	2821	2822	2823	2824	2825	2826	2827	2828	2829	2830	2831	2832	2833	2834	2835	2836	2837	2838	2839	2840	2841	2842	2843	2844	2845	2846	2847	2848	2849	2850	2851	2852	2853	2854	2855	2856	2857	2858	2859	2860	2861	2862	2863	2864	2865	2866	2867	2868	2869	2870	2871	2872	2873	2874	2875	2876	2877	2878	2879	2880	2881	2882	2883	2884	2885	2886	2887	2888	2889	2890	2891	2892	2893	2894	2895	2896	2897	2898	2899	2900	2901	2902	2903	2904	2905	2906	2907	2908	2909	2910	2911	2912	2913	2914	2915	2916	2917	2918	2919	2920	2921	2922	2923	2924	2925	2926	2927	2928	2929	2930	2931	2932	2933	2934	2935	2936	2937	2938	2939	2940	2941	2942	2943	2944	2945	2946	2947	2948	2949	2950	2951	2952	2953	2954	2955	2956	2957	2958	2959	2960	2961	2962	2963	2964	2965	2966	2967	2968	2969	2970	2971	2972	2973	2974	2975	2976	2977	2978	2979	2980	2981	2982	2983	2984	2985	2986	2987	2988	2989	2990	2991	2992	2993	2994	2995	2996	2997	2998	2999	3000	3001	3002	3003	3004	3005	3006	3007	3008	3009	3010	3011	3012	3013	3014	3015	3016	3017	3018	3019	3020	3021	3022	3023	3024	3025	3026	3027	3028	3029	3030	3031	3032	3033	3034	3035	3036	3037	3038	3039	3040	3041	3042	3043	3044	3045	3046	3047	3048	3049	3050	3051	3052	3053	3054	3055	3056	3057	3058	3059	3060	3061	3062	3063	3064	3065	3066	3067	3068	3069	3070	3071	3072	3073	3074	3075	3076	3077	3078	3079	3080	3081	3082	3083	3084	3085	3086	3087	3088	3089	3090	3091	3092	3093	3094	3095	3096	3097	3098	3099	3100	3101	3102	3103	3104	3105	3106	3107	3108	3109	3110	3111	3112	3113	3114	3115	3116	3117	3118	3119	3120	3121	3122	3123	3124	3125	3126	3127	3128	3129	3130	3131	3132	3133	3134	3135	3136	3137	3138	3139	3140	3141	3142	3143	3144	3145	3146	3147	3148	3149	3150	3151	3152	3153	3154	3155	3156	3157	3158	3159	3160	3161	3162	3163	3164	3165	3166	3167	3168	3169	3170	3171	3172	3173	3174	3175	3176	3177	3178	3179	3180	3181	3182	3183	3184	3185	3186	3187	3188	3189	3190	3191	3192	3193	3194	3195	3196	3197	3198	3199	3200	3201	3202	3203	3204	3205	3206	3207	3208	3209	3210	3211	3212	3213	3214	3215	3216	3217	3218	3219	3220	3221	3222	3223	3224	3225	3226	3227	3228	3229	3230	3231	3232	3233	3234	3235	3236	3237	3238	3239	3240	3241	3242	3243	3244	3245	3246	3247	3248	3249	3250	3251	3252	3253	3254	3255	3256	3257	3258	3259	3260	3261	3262	3263	3264	3265	3266	3267	3268	3269	3270	3271	3272	3273	3274	3275	3276	3277	3278	3279	3280	3281	3282	3283	3284	3285	3286	3287	3288	3289	3290	3291	3292	3293	3294	3295	3296	3297	3298	3299	3300	3301	3302	3303	3304	3305	3306	3307	3308	3309	3310	3311	3312	3313	3314	3315	3316	3317	3318	3319	3320	3321	3322	3323	3324	3325	3326	3327	3328	3329	3330	3331	3332	3333	3334	3335	3336	3337	3338	3339	3340	3341	3342	3343	3344	3345	3346	3347	3348	3349	3350	3351	3352	3353	3354	3355	3356	3357	3358	3359	3360	3361	3362	3363	3364	3365	3366	3367	3368	3369	3370	3371	3372	3373	3
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APPENDIX: FACILITY CONDITION ASSESSMENT

FACILITY CONDITION ASSESSMENT

Uniform Code Location Description ID	Cost Description	Life Span (Yr)	Unit Cost	Quantity/Unit	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	2101	2102	2103	2104	2105	2106	2107	2108	2109	2110	2111	2112	2113	2114	2115	2116	2117	2118	2119	2120	2121	2122	2123	2124	2125	2126	2127	2128	2129	2130	2131	2132	2133	2134	2135	2136	2137	2138	2139	2140	2141	2142	2143	2144	2145	2146	2147	2148	2149	2150	2151	2152	2153	2154	2155	2156	2157	2158	2159	2160	2161	2162	2163	2164	2165	2166	2167	2168	2169	2170	2171	2172	2173	2174	2175	2176	2177	2178	2179	2180	2181	2182	2183	2184	2185	2186	2187	2188	2189	2190	2191	2192	2193	2194	2195	2196	2197	2198	2199	2200	2201	2202	2203	2204	2205	2206	2207	2208	2209	2210	2211	2212	2213	2214	2215	2216	2217	2218	2219	2220	2221	2222	2223	2224	2225	2226	2227	2228	2229	2230	2231	2232	2233	2234	2235	2236	2237	2238	2239	2240	2241	2242	2243	2244	2245	2246	2247	2248	2249	2250	2251	2252	2253	2254	2255	2256	2257	2258	2259	2260	2261	2262	2263	2264	2265	2266	2267	2268	2269	2270	2271	2272	2273	2274	2275	2276	2277	2278	2279	2280	2281	2282	2283	2284	2285	2286	2287	2288	2289	2290	2291	2292	2293	2294	2295	2296	2297	2298	2299	2300	2301	2302	2303	2304	2305	2306	2307	2308	2309	2310	2311	2312	2313	2314	2315	2316	2317	2318	2319	2320	2321	2322	2323	2324	2325	2326	2327	2328	2329	2330	2331	2332	2333	2334	2335	2336	2337	2338	2339	2340	2341	2342	2343	2344	2345	2346	2347	2348	2349	2350	2351	2352	2353	2354	2355	2356	2357	2358	2359	2360	2361	2362	2363	2364	2365	2366	2367	2368	2369	2370	2371	2372	2373	2374	2375	2376	2377	2378	2379	2380	2381	2382	2383	2384	2385	2386	2387	2388	2389	2390	2391	2392	2393	2394	2395	2396	2397	2398	2399	2400	2401	2402	2403	2404	2405	2406	2407	2408	2409	2410	2411	2412	2413	2414	2415	2416	2417	2418	2419	2420	2421	2422	2423	2424	2425	2426	2427	2428	2429	2430	2431	2432	2433	2434	2435	2436	2437	2438	2439	2440	2441	2442	2443	2444	2445	2446	2447	2448	2449	2450	2451	2452	2453	2454	2455	2456	2457	2458	2459	2460	2461	2462	2463	2464	2465	2466	2467	2468	2469	2470	2471	2472	2473	2474	2475	2476	2477	2478	2479	2480	2481	2482	2483	2484	2485	2486	2487	2488	2489	2490	2491	2492	2493	2494	2495	2496	2497	2498	2499	2500	2501	2502	2503	2504	2505	2506	2507	2508	2509	2510	2511	2512	2513	2514	2515	2516	2517	2518	2519	2520	2521	2522	2523	2524	2525	2526	2527	2528	2529	2530	2531	2532	2533	2534	2535	2536	2537	2538	2539	2540	2541	2542	2543	2544	2545	2546	2547	2548	2549	2550	2551	2552	2553	2554	2555	2556	2557	2558	2559	2560	2561	2562	2563	2564	2565	2566	2567	2568	2569	2570	2571	2572	2573	2574	2575	2576	2577	2578	2579	2580	2581	2582	2583	2584	2585	2586	2587	2588	2589	2590	2591	2592	2593	2594	2595	2596	2597	2598	2599	2600	2601	2602	2603	2604	2605	2606	2607	2608	2609	2610	2611	2612	2613	2614	2615	2616	2617	2618	2619	2620	2621	2622	2623	2624	2625	2626	2627	2628	2629	2630	2631	2632	2633	2634	2635	2636	2637	2638	2639	2640	2641	2642	2643	2644	2645	2646	2647	2648	2649	2650	2651	2652	2653	2654	2655	2656	2657	2658	2659	2660	2661	2662	2663	2664	2665	2666	2667	2668	2669	2670	2671	2672	2673	2674	2675	2676	2677	2678	2679	2680	2681	2682	2683	2684	2685	2686	2687	2688	2689	2690	2691	2692	2693	2694	2695	2696	2697	2698	2699	2700	2701	2702	2703	2704	2705	2706	2707	2708	2709	2710	2711	2712	2713	2714	2715	2716	2717	2718	2719	2720	2721	2722	2723	2724	2725	2726	2727	2728	2729	2730	2731	2732	2733	2734	2735	2736	2737	2738	2739	2740	2741	2742	2743	2744	2745	2746	2747	2748	2749	2750	2751	2752	2753	2754	2755	2756	2757	2758	2759	2760	2761	2762	2763	2764	2765	2766	2767	2768	2769	2770	2771	2772	2773	2774	2775	2776	2777	2778	2779	2780	2781	2782	2783	2784	2785	2786	2787	2788	2789	2790	2791	2792	2793	2794	2795	2796	2797	2798	2799	2800	2801	2802	2803	2804	2805	2806	2807	2808	2809	2810	2811	2812	2813	2814	2815	2816	2817	2818	2819	2820	2821	2822	2823	2824	2825	2826	2827	2828	2829	2830	2831	2832	2833	2834	2835	2836	2837	2838	2839	2840	2841	2842	2843	2844	2845	2846	2847	2848	2849	2850	2851	2852	2853	2854	2855	2856	2857	2858	2859	2860	2861	2862	2863	2864	2865	2866	2867	2868	2869	2870	2871	2872	2873	2874	2875	2876	2877	2878	2879	2880	2881	2882	2883	2884	2885	2886	2887	2888	2889	2890	2891	2892	2893	2894	2895	2896	2897	2898	2899	2900	2901	2902	2903	2904	2905	2906	2907	2908	2909	2910	2911	2912	2913	2914	2915	2916	2917	2918	2919	2920	2921	2922	2923	2924	2925	2926	2927	2928	2929	2930	2931	2932	2933	2934	2935	2936	2937	2938	2939	2940	2941	2942	2943	2944	2945	2946	2947	2948	2949	2950	2951	2952	2953	2954	2955	2956	2957	2958	2959	2960	2961	2962	2963	2964	2965	2966	2967	2968	2969	2970	2971	2972	2973	2974	2975	2976	2977	2978	2979	2980	2981	2982	2983	2984	2985	2986	2987	2988	2989	2990	2991	2992	2993	2994	2995	2996	2997	2998	2999	3000	3001	3002	3003	3004	3005	3006	3007	3008	3009	3010	3011	3012	3013	3014	3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PUBLIC WORKS O&M COSTS

In this section you will find past work order costs for maintenance and operations for Milpitas parks. These values were used in determining the estimated costs of improvements outlined in the Goals and Recommendations and Implementation chapters.

APPENDIX: PUBLIC WORKS O&M COSTS

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PUBLIC WORKS O&M COSTS

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PARKS PRICE TABLE

Name	Maintenance Services Price Per Month	Irrigation Price Per Month	Landscaping Per Month	Annual Lump Sum
Alviso Adobe	\$2,821.32	\$270.00	\$3,091.32	\$37,095.87
Augustine Memorial Park	\$ 3,354.45	\$ 341.26	\$ 3,695.71	\$44,348.51
Augustus Rathbone	\$1,434.60	\$11.38	\$1,445.98	\$17,351.76
Ben Rogers Park	\$4,654.03	\$485.23	\$5,139.26	\$61,671.15
Bob McGuire Park	\$5,440.97	\$287.48	\$5,728.45	\$68,741.40
Calaveras Ridge Park	\$1,279.70	\$ 0.00	\$1,279.70	\$15,356.35
Calle Oriente Mini-Park	\$228.93	\$19.90	\$248.83	\$2,986.00
Cardoza Park	\$ 6,540.88	\$ 568.77	\$ 7,109.66	\$ 85,315.89
Cerano Park	\$ 1,530.24	\$ 200.00	\$ 1,730.24	\$ 20,762.88
Creighton Park	\$ 2,603.00	\$ 284.38	\$ 2,887.38	\$ 34,648.59
Dixon Landing Park	\$ 6,407.75	\$ 625.65	\$ 7,033.40	\$ 84,400.81
Dog Park at Ed Levin (Milpitas Muni Code V-9-7.01)	\$ 1,026.92	\$ 89.30	\$ 1,116.22	\$ 13,394.66
Foothill Park	\$ 1,973.20	\$ 205.66	\$ 2,178.85	\$ 26,146.24

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APPENDIX: PUBLIC WORKS O&M COSTS

PUBLIC WORKS O&M COSTS

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Gill Memorial Park	\$ 4,917.20	\$ 460.70	\$ 5,377.90	\$ 64,534.83
Hall Memorial Park	\$ 5,436.85	\$ 595.43	\$ 6,032.28	\$ 72,387.38
Hetch-Hetchy Linear Park	\$ 3,922.96	\$ 423.74	\$ 4,346.70	\$ 52,160.36
Hidden Lake Park	\$ 3,871.25	\$ 369.70	\$ 4,240.95	\$ 50,891.42
Higuera Adobe Park	\$ 3,597.48	\$ 309.98	\$ 3,907.45	\$ 46,889.45
Hillcrest Park	\$ 3,733.76	\$ 295.76	\$ 4,029.52	\$ 48,354.24
John McDermott Park	\$ 1,243.32	\$ 56.88	\$ 1,300.20	\$ 15,602.40
Jones Memorial Park	\$ 3,068.76	\$ 295.76	\$ 3,364.52	\$ 40,374.24
Milpitas Sports Center	\$ 9,975.00	\$ 1,156.31	\$ 11,131.31	\$ 133,575.74
Murphy Park	\$ 4,275.00	\$ 494.84	\$ 4,769.84	\$ 57,238.03
O'Toole Elms Park	\$ 3,465.89	\$ 59.90	\$ 3,525.79	\$ 42,309.48
Parc Metro East Park	\$ 4,289.40	\$ 123.33	\$ 4,412.73	\$ 52,952.76
Parc Metro Middle (Central) Park	\$ 1,935.02	\$ 34.73	\$ 1,969.75	\$ 23,637.00
Parc Metro West Park	\$ 2,200.41	\$ 58.67	\$ 2,259.08	\$ 27,108.96

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PUBLIC WORKS O&M COSTS

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Pecot Park	\$ 1,962.26	\$ 170.63	\$ 2,132.89	\$ 25,594.71
Pinewood Park	\$4,759.50	\$455.02	\$5,214.52	\$ 62,574.26
Robert E. Browne Park	\$ 3,224.65	\$ 280.40	\$ 3,505.05	\$ 42,060.64
Russel Middle School Softball Field	\$ 2,955.83	\$ 447.05	\$ 3,402.88	\$ 40,834.57
Sandalwood Park	\$ 2,289.31	\$ 199.07	\$ 2,488.38	\$ 29,860.59
Selwyn Park	\$ 163.52	\$ 14.22	\$ 177.75	\$ 2,132.94
Sinnott Park	\$ 2,090.00	\$ 267.32	\$ 2,357.32	\$ 28,287.85
Starlite Park	\$ 1,973.20	\$ 205.66	\$ 2,178.85	\$ 26,146.24
Strickroth Park	\$ 2,755.00	\$ 324.20	\$ 3,079.20	\$ 36,950.36
Tom Evatt Park	\$ 5,258.14	\$ 326.89	\$ 5,585.03	\$ 67,020.36

PUBLIC WORKS O&M COSTS

357

Future Park Pricing

Job Duties	Frequency	Unit of Measure	Cost Per unit of Measure
1) Mowing and edging	weekly	Square Foot	\$.04 per month
2) Weed control	twice annually and as needed	Square Foot	\$.01 per month
3) Mechanical weed control	as needed	Square Foot	\$.05 per month
4) Pruning shrubs and ground cover	Twice annually and as needed	Square Foot	\$.02 per month
5) Fertilizing and Aeration	2 to 4 times annually depending on the park or athletic field	Square Foot	\$.04 per month
6) Empty trash cans	twice weekly and as needed	Per Trash Can	\$17.33 per can per month
7) Remove trash & misc. debris from landscape	weekly and as needed	Square Foot	\$.01 per month
8) Inspect, adjust and repair irrigation system	weekly and as needed	Per Hour	\$75.00 per hour
9) Restroom service: opening, closing cleaning, repair and restocking	daily	Per Restroom	\$653.00 per month
10) Playground inspection reports per U.S. CPSC requirements	weekly	Per Structure	\$133.00 per structure
11) Playground inspection	weekly and as needed	Per Structure	\$257.00 per structure per inspection
12) Athletic field maintenance	daily/weekly	Square Foot	\$.05 per month
13) Parking lot cleaning	weekly and as needed	Square Foot	\$.01 per month
14) Vandalism reports	as needed	Per Location	\$737.00 per month all locations
15) Graffiti Maintenance	as needed	Square Foot	\$1.50 per sq ft of graffiti area
16) Herbicide application	seasonally	Square Foot	\$.01 per month
17) Clean and repair drinking fountains	as needed	Per Unit	\$485.00 per unit per repair/\$22.50 per unit for cleaning if clogged
18) General Park Maintenance	as needed	Square Foot	\$.01 per month
19) Tennis and basketball court cleaning	weekly	Square Foot	\$.01 per month
20) Dog park	twice weekly	Per Location	\$262.60 per service

PUBLIC WORKS O&M COSTS

358

On-Call Pricing

Labor Item No.	Description/Title	Regular Hourly Rate	Overtime Weekday Rate	Overtime Weekend Rate	Overtime Holiday Hourly Rate
	Crew Supervisor	\$85.00	\$127.50	\$127.50	\$170.00
	Crew Foreman	\$55.00	\$82.50	\$82.50	\$110.00
	Irrigation Technician	\$75.00	\$112.50	\$112.50	150.00
	Landscape Maintenance Laborer	\$45.00	\$67.50	\$67.50	\$90.00
	Mark-up percentage off Contractors verified invoice cost for materials	10%	10%	10%	10%
	Markup percentage for rented equipment	10%	10%	10%	10%

APPENDIX: PUBLIC WORKS O&M COSTS

PUBLIC WORKS O&M COSTS

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Future Park Pricing

Job Duties	Frequency	Unit of Measure	Cost Per unit of Measure
1) Mowing and edging	weekly	Square Foot	\$.04 per month
2) Weed control	twice annually and as needed	Square Foot	\$.01 per month
3) Mechanical weed control	as needed	Square Foot	\$.05 per month
4) Pruning shrubs and ground cover	Twice annually and as needed	Square Foot	\$.02 per month
5) Fertilizing and Aeration	2 to 4 times annually depending on the park or athletic field	Square Foot	\$.04 per month
6) Empty trash cans	twice weekly and as needed	Per Trash Can	\$17.33 per can per month
7) Remove trash & misc. debris from landscape	weekly and as needed	Square Foot	\$.01 per month
8) Inspect, adjust and repair irrigation system	weekly and as needed	Per Hour	\$75.00 per hour
9) Restroom service: opening, closing cleaning, repair and restocking	daily	Per Restroom	\$653.00 per month
10) Playground inspection reports per U.S. CPSC requirements	weekly	Per Structure	\$133.00 per structure
11) Playground inspection	weekly and as needed	Per Structure	\$257.00 per structure per inspection
12) Athletic field maintenance	daily/weekly	Square Foot	\$.05 per month
13) Parking lot cleaning	weekly and as needed	Square Foot	\$.01 per month
14) Vandalism reports	as needed	Per Location	\$737.00 per month all locations
15) Graffiti Maintenance	as needed	Square Foot	\$1.50 per sq ft of graffiti area
16) Herbicide application	seasonally	Square Foot	\$.01 per month
17) Clean and repair drinking fountains	as needed	Per Unit	\$485.00 per unit per repair/\$22.50 per unit for cleaning if clogged
18) General Park Maintenance	as needed	Square Foot	\$.01 per month
19) Tennis and basketball court cleaning	weekly	Square Foot	\$.01 per month
20) Dog park	twice weekly	Per Location	\$262.60 per service



MILPITAS PLAYGROUND REHABILITATION PROJECT

This section includes the descriptions and statuses of playground rehabilitation projects at various Milpitas parks. This document was prepared by Redwood Engineering Construction in November 2020.

APPENDIX: MILPITAS PLAYGROUND REHABILITATION PROJECT

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MILPITAS PLAYGROUND REHABILITATION PROJECT

Redwood Engineering Construction

Milpitas Playground Rehabilitation Project

City of Milpitas

MONTHLY PROGRESS STATUS

Description	Project Status
STATUS OF PHASE 1 PARKS	
Phase 1 - Ben Rodgers Park	COMPLETED
Remove and dispose the existing sand and replace it with Engineered Wood Fiber (EWf) as described in the specifications and shown on the plans	COMPLETED
Remove and dispose the existing Little Tikes Composite Structure Equipment for 5-12 yrs. age group and replace it with a new Composite Structure Equipment with new and similar equipment	COMPLETED
a. Remove and dispose the following existing Ground Elements: Swings by Little Tikes Replace it with a new and similar equipment.	COMPLETED
b. Remove and dispose the following existing Ground Elements: Free Standing Climber by Gametime Replace it with a new and similar equipment.	COMPLETED
Change Order Work - Removal of New EWf and Replace with new Poured - In - Place Rubber surfacing in the six foot fall zone of the newly installed Climber and Composite Structure Equipment (Does not apply to Swings)	COMPLETED
Change Order Work - Purchase and Installation of new Daisy Rocker	COMPLETED
Site restoration and clean-up	COMPLETED
Phase 1 - Community Center Playground Area	COMPLETED
Remove and dispose the existing, Poured-in-Place (PIP) Synthetic Safety Surface and install new Poured-in-Place Synthetic Safety Surface as described in the specifications and shown on the plans	COMPLETED
Site restoration and clean-up	COMPLETED
Phase 1 - Foothill Park	COMPLETED, PENDING ASPHALT RESEAL
Remove and dispose the existing sand from the 5-12 yrs., and 2-5 yrs. playground areas and replace it with Engineered Wood Fiber (EWf) as described in the specifications and shown on the plans	COMPLETED
Remove and dispose the existing PIP, Poured-in-Place Synthetic Safety Surface from the two play areas, and install new PIP as described in the specifications and shown on the plans	COMPLETED
Remove and dispose the following existing Composite Structure Equipment from the 5-12 yrs. age group Replace the entire Composite Structure Equipment including complete installation at the same	COMPLETED
Remove and dispose the following existing Composite Structure Equipment from the 2- 5 yrs. old playground area: Replace the entire Composite Structure Equipment including complete installation at the same location	COMPLETED
Slurry Seal the access road to the play area per the specification	COMPLETED
Change Order Work - Removal of New EWf and Replace with new Poured - In - Place Rubber surfacing in the six foot fall zone of the newly installed Play Equipment	COMPLETED
Site restoration and clean-up	COMPLETED
Phase 1 - Oliver Jones Memorial Park	COMPLETED
Remove and dispose the existing sand from the 2-5 yrs. play area and it replace with Engineered Wood Fiber (EWf) per specification.	COMPLETED
Remove and dispose the existing Little Tikes Composite Structure Equipment for 2-5 yrs. age group and replace it with a new Composite Structure Equipment with new playground equipment	COMPLETED
Remove and dispose the existing Swings by Landscape Structures and replace it a new single bay of swings with 2-bucket style seats for 2-5 yrs. olds.	COMPLETED
Remove and dispose the existing sand from the 5-12 yrs. play area and it replace with Engineered Wood Fiber (EWf) per specification	COMPLETED
Remove and dispose the existing Little Tikes Composite Structure Equipment for 5-12 yrs. age group consisting and replace it with a new Composite Structure Equipment with the following:	COMPLETED
Change Order Work - Removal of New EWf and Replace with new Poured - In - Place Rubber surfacing in the six foot fall zone of the newly installed Climber and Composite Structure Equipment	COMPLETED
Site restoration and clean-up	COMPLETED

MILPITAS PLAYGROUND REHABILITATION PROJECT

Redwood Engineering Construction

Milpitas Playground Rehabilitation Project
City of Milpitas
MONTHLY PROGRESS STATUS

STATUS OF PHASE 2 PARKS	
Description	Project Status
Phase 2 - Calle Oriente Park	COMPLETED WEEK ENDING AUGUST 6, 2021
Repair the existing PIP, Poured-in-Place Synthetic Safety Surface as described in the specifications and shown on the plans. Color to match the existing PIP color.	COMPLETED
Roll Coat the entire existing PIP play area. Color to match the existing PIP color.	COMPLETED
Remove the Alligator Bench from Ground Equipment Area.	COMPLETED
Site restoration and clean-up	COMPLETED
Phase 2 - Cardoza Park	COMPLETED
Remove and dispose the following existing Adventure Playground System Composite Structure Equipment for 5-12 yrs. age group:	COMPLETED
Replace each of these with new equipment and install them at the same locations.	COMPLETED
After removal of the existing and installation of the new Composite Structure Equipment, repair the existing PIP surface for 5-12 yr. old and 2-5 yr. old play areas. Color of repaired surface to match the existing color.	COMPLETED
Roll coat the existing PIP surface for 5-12 yr. old and 2-5 yr. old play areas. Color of repaired surface to match the existing color.	COMPLETED
Site restoration and clean-up	COMPLETED
Phase 2 - Dixon Landing Park	COMPLETED
Remove and dispose the existing PIP, Poured-in-Place Synthetic Safety Surface, and replace it with new PIP, Poured-in-Place Synthetic Safety Surface as described in the specifications and shown on the plans	COMPLETED
Remove and dispose the existing sand and replace it with Engineered Wood Fiber (EWF) as described in the specifications and shown on the plans	COMPLETED
Change Order Work - Removal of New EWF and Replace with new Poured - In - Place Rubber surfacing in the six foot fall zone of the existing play equipment	COMPLETED
Site restoration and clean-up	COMPLETED
Phase 2 - Hillcrest Park	COMPLETED
Remove and dispose the existing Engineered Wood Fiber from the playground areas and replace it with new Engineered Wood Fiber (EWF) as described in the specifications and shown on the plans	COMPLETED
Remove and dispose the following existing Miracle Large Composite Structure Equipment from the 5-12 yrs. old playground area:	COMPLETED
Replace the entire Large Composite Structure Equipment including complete installation of equipment.	COMPLETED
Remove and dispose the following existing Small Composite Structure Equipment from the 2- 5 yrs. old playground area:	COMPLETED
replace the entire Small Composite Structure Equipment including complete installation of equipment.	COMPLETED
Change Order Work - Removal of New EWF and Replace with new Poured - In - Place Rubber surfacing in the six foot fall zone of the newly installed Play Equipment	COMPLETED
Site restoration and clean-up	COMPLETED
STATUS OF PHASE 3 PARKS	
Phase 3 - Augustine Memorial Park	TO BE SCHEDULED IN 2021, Pending Funding Availability
2-5 yrs. Play Area - Remove and dispose the existing sand and replace it with Engineered Wood Fiber (EWF).	TO BE SCHEDULED IN 2021
2-5 yrs. Play Area - Remove and dispose the existing Poured-in-Place (PIP), Synthetic Safety Surface from and install new PIP Surface as described in the specifications and shown on the plans	TO BE SCHEDULED IN 2021
2-5 yrs. Play Area - Remove and dispose the existing 160 lf. of GI chain-link fence in 2-5 yr. play area, and replace it with a new vinyl coated steel chain-link fence per the specification and in compliant with ASTM 2049-11 (2017)	TO BE SCHEDULED IN 2021
5-12 yrs. Play Area - Remove and dispose the existing Poured-in-Place (PIP), Synthetic Safety Surface and install new PIP Surface as described in the specifications and shown on the plans	TO BE SCHEDULED IN 2021
5-12 yrs. Play Area - Remove and dispose the existing Free Standing Slide and Sliding Pole and replace it with a new Free Standing Slide only.	TO BE SCHEDULED IN 2021
5-12 yrs. Play Area - Remove and dispose the existing Chin Up Bar from the Composite Structure area and replace it with a new free standing Chin Up Bar in another location of the play area that does not interfere with other fall zones.	TO BE SCHEDULED IN 2021
Site restoration and clean-up	TO BE SCHEDULED IN 2021
Phase 3 - Cerano Park	TO BE SCHEDULED IN 2021, Pending Funding Availability
Remove and dispose the existing PIP, Poured-in-Place Synthetic Safety Surface and install new PIP as described in the specifications and shown on the plans	TO BE SCHEDULED IN 2021
Remove and dispose the existing Net Climber from the 2-5 yr. old Composite Structure Equipment , and replace it with new sway net by Kompan	TO BE SCHEDULED IN 2021
Remove and dispose the existing Double Slide from the 2-5 yr. old Composite Structure Equipment , and replace it with new Double Plastic Slide by Kompan	TO BE SCHEDULED IN 2021
Site restoration and clean-up	TO BE SCHEDULED IN 2021

MILPITAS PLAYGROUND REHABILITATION PROJECT

Redwood Engineering Construction

Milpitas Playground Rehabilitation Project
City of Milpitas
MONTHLY PROGRESS STATUS

Description	Project Status
Phase 3 - John McDermott Park	TO BE SCHEDULED IN 2021, Pending Funding Availability
Remove and dispose the existing Engineered Wood Fiber (EWF) from 5-12 yrs. (1160 SF), and 2-5 yrs. (500 SF) play areas and install new EWF as described in the specifications and shown on the plans	TO BE SCHEDULED IN 2021
Repair the damaged sections of the existing PIP surface and edges. Color of repaired surface to match the existing color.	TO BE SCHEDULED IN 2021
Roll coat the entire existing PIP surface. Color of surface to match the existing color	TO BE SCHEDULED IN 2021
Remove and dispose the existing Gametime Slide from the Composite Structure Equipment 5-12 yrs. play area, and replace it with a new Gametime Swerve Slide, or equal	TO BE SCHEDULED IN 2021
Site restoration and clean-up	TO BE SCHEDULED IN 2021
Phase 3 - O'Toole Elms Park	TO BE SCHEDULED IN 2021, Pending Funding Availability
2-5 yr. old play area: Repair the damaged sections of the existing Poured-in Place (PIP) Surface and the edges. and roll coat per specification. Color of repaired PIP to match the existing PIP.	TO BE SCHEDULED IN 2021
Roll coat the existing Poured-in Place (PIP) surface for the 2-5 yr. old and 5-12 yr. old play areas. Color to match the existing PIP surface	TO BE SCHEDULED IN 2021
Site restoration and clean-up	TO BE SCHEDULED IN 2021
Phase 3 - Pinewood Park	TO BE SCHEDULED IN 2021
Remove and dispose the existing Poured-in-Place (PIP) Surface from 2-5 yrs. old play area, and install new PIP, as described in the specifications and shown on the plans	TO BE SCHEDULED IN 2021
Remove and dispose the existing PIP, Poured-in-Place Synthetic Safety Surface from 5-12 yr. old play area and install new PIP, as described in the specifications and shown on the plans	TO BE SCHEDULED IN 2021
Remove and dispose the existing EWF from 2-5 yr. old play area and install new EWF, as described in the specifications and shown on the plans	TO BE SCHEDULED IN 2021
Remove and dispose the existing EWF from 5-12 yr. old play area and install new EWF, as described in the specifications and shown on the plans	TO BE SCHEDULED IN 2021
Remove and dispose the following existing Composite Structure Equipment from 5-12 old play area, and replace and install new structures	TO BE SCHEDULED IN 2021
Remove and dispose the following existing Composite Structure Equipment from 5-12 old play area, and replace and install new structures	TO BE SCHEDULED IN 2021
Site restoration and clean-up	TO BE SCHEDULED IN 2021
Phase 3 - Selewynne Park	TO BE SCHEDULED IN 2021, Pending Funding Availability
Remove and dispose a) Barriers and b) Tower Climber (Chimney Climber) from the existing Composite Structure Equipment and replace and install a new Barrier and a Tower Climber: Barrier	TO BE SCHEDULED IN 2021
Remove and dispose a) Barriers and b) Tower Climber (Chimney Climber) from the existing Composite Structure Equipment and replace and install a new Barrier and a Tower Climber: Tower Climber	TO BE SCHEDULED IN 2021
Repair the damaged sections of the existing PIP surface and edges. Color of repaired surface to match the existing color.	TO BE SCHEDULED IN 2021
Roll coat the entire existing PIP surface. Color of surface to match the existing color.	TO BE SCHEDULED IN 2021
Remove and dispose the existing sand and replace it with Engineered Wood Fiber as described in the specifications and shown on the plans	TO BE SCHEDULED IN 2021
Site restoration and clean-up	TO BE SCHEDULED IN 2021
Phase 3 - Tom Evatt Park	TO BE SCHEDULED IN 2021, Pending Funding Availability
Remove and dispose the existing, Poured-in-Place (PIP) Synthetic Safety Surface and install new Poured-in-Place Synthetic Safety Surface as described in the specifications and shown on the plans	TO BE SCHEDULED IN 2021
Remove and dispose the following play equipment from the Play Structure: a) Diagonal Saucer Rope Climber b) Rocking Seat West No replacements necessary	TO BE SCHEDULED IN 2021
Site restoration and clean-up	TO BE SCHEDULED IN 2021

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JOINT USE AGREEMENT (JUA) OPEN SPACE DOCUMENT

This section includes the Joint Use Agreement (JUA) for Open Space, between the City of Milpitas and Milpitas Unified School District (MUSD). This 10-year agreement was approved and authorized by the City Manager on June 24, 2021.

APPENDIX: JOINT USE AGREEMENT OPEN SPACE DOCUMENT

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JUA OPEN SPACE DOCUMENT

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**JOINT USE AGREEMENT BETWEEN
CITY OF MILPITAS
AND MILPITAS UNIFIED SCHOOL DISTRICT
FOR OPEN SPACE**

This Joint Use Agreement ("Agreement") is made and entered into this ____ day of Jun-24-2021, 2021 ("Effective Date"), by and between the City of Milpitas, a municipal corporation of the State of California ("City") and the Milpitas Unified School District, a California public school district ("District"). City and District are sometimes referred to individually as a "Party" and collectively as the "Parties."

RECITALS

WHEREAS, Education Code Section 10900, *et seq.*, of the State of California authorizes and empowers school districts and cities to "organize, promote, and conduct programs of community recreation;" to establish systems of playgrounds and recreation; and to acquire, improve, maintain, and operate recreation centers within or without the territorial limits of such districts; and

WHEREAS, City and District desire to establish a basis for the cooperative use of District open space and City open space; and

WHEREAS, it is in the community's interest that the usage of open space of the City and District be maximized; and

WHEREAS, City is the owner of certain real properties identified in Section 2 of this Agreement, located in Milpitas, California ("City Sites"); and

WHEREAS, District is the owner of certain real properties identified in Section 3 of this Agreement, located in Milpitas, California ("District Sites"); and

WHEREAS, the Parties now wish to establish one comprehensive agreement, superseding all prior agreements executed from 1988 to 2016, that addresses the Parties' respective access of each other's open space for the community's use; and

WHEREAS, in the interest of providing recreation programs to the community with the least possible expenditure of public funds, full cooperation between the City and District is both necessary and desirable.

NOW, THEREFORE, in consideration of the mutual promises and agreements contained herein, the Parties agree as follows:

1. Term of Agreement. The Term of this Agreement shall be for approximately ten (10) years commencing on the Effective Date, and shall remain in effect until December 31, 2031, and shall continue from year to year unless terminated earlier pursuant to the termination provisions set forth in this Agreement.

2. Use of City Sites.

A. City Sites subject to this Agreement are:

- i. General Use Areas (Exhibit C-1)

JUA OPEN SPACE DOCUMENT

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ii. Specific Use Areas:

- Cardoza Park Softball Field (Exhibit C-2)
- Gill Park Softball Field (Exhibit C-3)
- Milpitas Sports Center Turf Fields (Exhibit C-4)

Other real property owned by the City not expressly identified in the Exhibits (“Other Property”) shall not be considered City Sites subject to the terms of this Agreement. Use of Other Property shall be subject to an amendment to this Agreement.

B. City’s Use. Unless otherwise specified in the Exhibits to this Agreement, the City’s use of the sports courts, paved surfaces, pools, sports turf areas, playgrounds, and parking lots (“City Facilities”) located on the City Sites for any purpose shall take precedence and priority over the District’s or any other person or entity’s use. “City’s Use” includes use of the City’s Facilities, without limitation:

- i. Use during any time when a scheduled recreation program is in session;
- ii. Use during any time that has been scheduled in advance by City staff for classes, activities, exercises, or functions; and
- iii. Use during any time when the City has permitted another person or entity to use the City Facilities for specific event(s) or activity(ies). District acknowledges and agrees that City may have existing, pre-scheduled use that cannot be re-scheduled to accommodate City’s use. In this event, District shall have second priority behind the existing and pre-scheduled use.

C. District’s Use. The District may use the City Facilities when such use does not conflict with the City’s use. District’s right of use shall be non-exclusive.

3. Use of District Sites.

A. District Sites subject to this Agreement are:

- i. General Use Areas: (Exhibit D-1)
- ii. Specific Use Areas:
 - Cesar Chavez Community Garden (Exhibit D-2)
 - Curtner Elementary School Field (Exhibit D-3)
 - Rancho Middle School Trail Access Path (Exhibit D-4)
 - Russell Middle School Softball Fields (Exhibit D-5)

Other real property owned by the District not expressly identified in the Exhibits (“Other Property”) shall not be considered District Sites subject to the terms of this Agreement. Use of Other Property shall be subject to an amendment to this Agreement.

B. District’s Use. Unless otherwise specified in the Exhibits to this Agreement, the District’s use of the sports courts, paved surfaces, pools, sports turf areas, playgrounds, and parking lots (“District Facilities”) located on the District Sites for any purpose shall take precedence and

JUA OPEN SPACE DOCUMENT

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priority over the City's or any other person or entity's use. "District's Use" includes use of the District's Facilities, without limitation:

- i. Use during any time when school is in session, which is typically the months of mid-August through early June from 7:00 AM – 4:00 PM for Elementary School sites and 7:00 AM – 6:30 PM for Middle and High Schools sites, including Summer School, which varies in location and hours depending on District student needs;
- ii. Use during any time when school is not in session for special District-sponsored events;
- iii. Use during any time that has been scheduled in advance by the various school principals or other school officers for classes, activities, exercises, or functions; and
- iv. Use during any time when the District has permitted another person or entity to use the District Facilities for specific event(s) or activity(ies). City acknowledges and agrees that District may have existing, pre-scheduled use that cannot be re-scheduled to accommodate City's use. In this event, City shall have second priority behind the existing and pre-scheduled use.

C. City's Use. The City may use the District Facilities when such use does not conflict with the District's use. City's right of use shall be non-exclusive.

4. Use of Parties' Facilities.

A. Coordination Meetings. District and City shall establish a master schedule of facilities, dates, and times for the use of the District and City Facilities ("Master Schedule") at semi-annual coordination meetings. The first meeting shall occur on or before [August 31] of each year. The purpose of the first meeting shall be to coordinate the schedule for each Party's uses of the facilities for the District and City Sites and to avoid conflict between District, City, and third-party users, to resolve any issues concerning maintenance or renovation of the Facilities, and to address any of the Parties' concerns or issues arising under this Agreement. The Parties will also meet as needed to discuss any necessary repairs or maintenance issues, ongoing scheduling, and/or use issues associated with the Facilities.

B. Process to Request/Schedule Facility Use. The Parties shall follow the following process in scheduling use of the other Party's Facilities:

- i. City staff is responsible for scheduling City Facilities.
- ii. District staff is responsible for scheduling District Facilities.
- iii. All users are required to complete appropriate District or City permit forms, pay applicable fees, and meet insurance requirements set by the District and City in order to request use of District and/or City Facilities.
- iv. Non-City and non-District users will be scheduled based on remaining facility availability and on a "first come, first served" basis.
- v. Once each Party has developed a schedule for its own Facilities usage, designated staff from each Party will provide the other Party with the proposed schedule.

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- vi. Once the Parties agree to a Master Schedule, each Party's scheduled use of the Facilities shall receive priority over all other use, except as may be otherwise required by law or mutual written agreement of the Parties.

C. Facility Use - Unforeseen Occurrences

- i. Notwithstanding any other provision of this Agreement, in the event of unforeseen occurrences, including but not limited to, unscheduled maintenance or repair of City Facilities, weather conditions, or scheduling conflicts with respect to previously scheduled use of City Facilities, City shall have the right to free occasional use of District Facilities at City's discretion.
- ii. Notwithstanding other provision of this Agreement, in the event of unforeseen occurrences, including but not limited to, unscheduled maintenance or repair of District Facilities, weather conditions, or scheduling conflicts with respect to previously scheduled use of District Facilities, District shall have the right to free occasional use of City Facilities at the District's discretion.

D. Ancillary Fees.

- i. City shall pay an "Ancillary Fee" (Exhibit E) related to the direct costs to District for City's use of District Facilities. The direct costs shall include, but not be limited to, costs for District staff required to be present at the District Facilities during City's use. All users will be required to pay the fees for the District Facilities as outlined in Exhibit E. District will endeavor to provide an annual fee schedule for this Exhibit E by no later than May 31st of each year, if known. If not provided by June 30, the fee schedule from the previous year shall apply until an updated fee schedule is submitted.
- ii. District shall pay an "Ancillary Fee" related to the direct costs to City for District's use of City's Facilities. The direct costs shall include, but not be limited to, costs for City staff required to be present at the City Facilities during District's use. All users will be required to pay the fees for the City Facilities as outlined in Exhibit E. City will endeavor to provide an annual fee schedule for this Exhibit E by no later than May 31st of each year, if known. If not provided by June 30, the fee schedule from the previous year shall apply until an updated fee schedule is submitted.

E. Third Party Easements.

- i. The Parties recognize that there may be existing third party easements in, on, over, and throughout a particular District Site for the purpose of constructing, installing, or maintaining utilities and/or services for the benefit of the Site, or for other purposes reasonably related to the operation of the Site. District shall notify City of any conditions requiring a third party easement holder to perform construction, installation, maintenance or other services on the District Site or any portion thereof. If possible, such notification shall be provided at least seventy-two (72) hours in advance of the activities and/or services to be performed by the third party easement holder. The District will be responsible to ensure that the third party easement holder return the Site to its previous condition.

JUA OPEN SPACE DOCUMENT

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- ii. The Parties recognize that there may be existing third party easements in, on, over, and throughout a particular City Site for the purpose of constructing, installing, or maintaining utilities and/or services for the benefit of the Site, or for other purposes reasonably related to the operation of the Site. City shall notify District of any conditions requiring a third party easement holder to perform construction, installation, maintenance or other services on the City Site or any portion thereof. If possible, such notification shall be provided at least seventy-two (72) hours in advance of the activities and/or services to be performed by the third party easement holder. The City will be responsible to ensure that the third party easement holder return the Site to its previous condition.
- 5. Maintenance.
 - A. City Maintenance. Unless otherwise specified in the Exhibits to this Agreement, City agrees to provide, at its own cost and expense, any and all maintenance for the City Facilities. Maintenance to be provided by City shall be staffed by City personnel, be consistent with normal maintenance levels as applied to other comparable City Facilities and shall insure safe and healthful use. Maintenance to be provided by City shall also include payment by City, at its own cost and expense, any and all utility costs, including without limitation, electricity, water, and refuse removal costs.
 - B. District Maintenance. Unless otherwise specified in the Exhibits to this Agreement, District agrees to provide, at its own cost and expense, any and all maintenance for the District Facilities. Maintenance to be provided by District shall be staffed by District personnel, be consistent with normal maintenance levels as applied to other comparable District Facilities and shall insure safe and healthful use. Maintenance to be provided by District shall also include payment by District, at its own cost and expense, any and all utility costs, including without limitation, electricity, water, and refuse removal costs.
- 6. Custodial. Unless otherwise specified in the Exhibits to this Agreement, each Party agrees to provide, at its own cost and expense, any and all custodial services for their respective facilities for special, on-going uses of District or City Facilities. Each Party will return utilized space in a clean and useable manner after each use which includes the removal and proper disposal of trash. If either Party fails to adhere to the provisions of this Section, that Party may be charged applicable fees and billed directly as extra cost under this Agreement.
- 7. Repairs.
 - A. District shall be responsible for the cost of repair and/or replacement of any damage to City Facilities, including fixtures and improvements with the City Facilities that are lost, damaged, or stolen during and/or as the result of District's use of City Facilities, normal wear and tear excepted. District shall promptly notify City upon District's actual knowledge of any loss or damage to the City Facilities of which the District becomes aware during and/or in conjunction with District's use of same.
 - B. City shall be responsible for the cost of repair and/or replacement of any damage to District Facilities, including fixtures and improvements that are lost, damaged, or stolen during and/or as the result of City's use of District's Facilities, normal wear and tear excepted. City shall promptly notify District upon City's actual knowledge of any loss or damage to the District's Facilities of which City becomes aware during and/or in conjunction with City's use of same.

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8. Site Development. Should the Parties agree to jointly fund and/or develop a facility, site-specific agreements would be developed to address details required for satisfactory design, construction, maintenance, repair, renovation, use, and other items which have not been anticipated in this Agreement. Once such sites are developed, a site specific exhibit will be added to this Agreement or an existing site specific exhibit amended, as applicable.

9. Improvements.

A. Existing Improvements.

- i. Each Party shall retain its existing ownership interest in and to its Sites and any improvement(s) existing thereon as of the Effective Date of this Agreement. No past, present, or future use of any of the Sites pursuant to this Agreement shall be interpreted as conveying any ownership or other property interests in any of the Sites.
- ii. In the event of sale, redevelopment, and/or reconstruction of a particular Site, the Party who owns the Site ("Owner") shall notify the Party who owns the improvement(s) existing thereon ("Improvement Owner") of its request to remove the improvement(s) at least six (6) months prior to the intended date of removal. The Owner shall provide payment to the Improvement Owner, if requested by the Improvement Owner, for the value of the improvement(s) requested to be removed. If the parties cannot agree on the value, the parties shall jointly select an independent, third-party appraiser who shall determine the value of the improvement requested to be removed. The appraised value of the improvement shall be the amount to be paid by the Owner to the Improvement Owner.
- iii. In the event the Improvement Owner chooses to vacate the Owner's site, the Improvement Owner shall provide at least six months notice prior to the intended date of vacating the site. The Improvement Owner shall be solely responsible to remove all improvements and return the site to a safe condition at the Improvement Owner's expense unless the Owner provides permission to vacate without removal of the improvement.

B. Additional Improvements. Either Party may make additional capital or non-capital improvements to any Site owned by the other Party, subject to a separate agreement by the Parties. The separate agreement shall address, at a minimum, responsibility for all costs associated with any improvements, responsibility for compliance with California Environmental Quality Act (CEQA), the Division of State Architects (DSA), the Department of Toxic Substances Control (DTSC), or the California Department of Education (CDE), and the terms of construction delivery including contracting with the architect and contractor. Once such improvements are developed, a site specific exhibit will be added to this Agreement or an existing site specific exhibit amended, as applicable.

10. Insurance.

Each Party shall maintain the following programs of insurance coverage:

- A. General Liability insurance with limits of not less than the following, and naming the other part as an additional insured:

General Aggregate:	\$2 million
Personal Injury:	\$1 million

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Each Occurrence: \$1 million

B. Workers' Compensation and Employers Liability insurance providing workers' compensation benefits, as required by the State of California.

C. The insurance coverage requirements in this Section shall be subject to review and adjustment to reflect coverage recommended by the parties' insurance advisors over the term of this Agreement. Any such adjustment shall be set forth in a written amendment to the Agreement signed by both Parties.

11. Indemnification.

A. Indemnification of District. To the furthest extent permitted by California law, City shall protect, defend, indemnify, and hold harmless District and its officers, agents, representatives, consultants, employees, and volunteers ("District's Indemnified Parties") from any and all demands, liabilities, losses, damages, injury, claims, suits, and actions ("Claims against the City") of any kind, nature, or description, including, but not limited to, personal injury, death, property damage, and consultants' and/or attorneys' fees and costs, directly or indirectly arising out of, connecting with or resulting from the performance of the Agreement or from any activity, work, or thing done, permitted, or suffered by the City in conjunction with this Agreement except to the extent that the Claims against the City are not caused by the negligence or willful misconduct of the District's Indemnified Parties. The District shall have the right to accept or reject any legal representation that City proposes to defend the District's Indemnified Parties.

B. Indemnification of City. To the furthest extent permitted by California law, District shall protect, defend, indemnify, and hold harmless City and its officers, agents, representatives, consultants, employees, and volunteers ("City's Indemnified Parties") from any and all demands, liabilities, losses, damages, injury, claims, suits, and actions ("Claims against the District") of any kind, nature, or description, including, but not limited to, personal injury, death, property damage, and consultants' and/or attorneys' fees and costs, directly or indirectly arising out of, connecting with or resulting from the performance of the Agreement or from any activity, work, or thing done, permitted, or suffered by the District in conjunction with this Agreement except to the extent that the Claims against the District are not caused by the negligence or willful misconduct of the City's Indemnified Parties. The City shall have the right to accept or reject any legal representation that District proposes to defend the City's Indemnified Parties.

12. Termination For Cause. Failure of a Party to comply with any provision of this Agreement and/or Exhibit to this Agreement shall constitute a breach. The Party alleging breach (the "Noticing Party") shall provide written notification to the other Party (the "Breaching Party") identifying the alleged breach. The Breaching Party shall have ten (10) business days ("Cure Period") to cure said breach. If the Breaching Party does not cure the breach within the Cure Period, the Noticing Party, may, pursuant to the dispute resolution process set forth in Section 14 of this Agreement, a) suspend its performance under this Agreement and if applicable, suspend the Breaching Party's use of the Site until the breach is cured, or b) terminate this Agreement without regard for any remaining term provided by this Agreement or early termination rights provided herein. Upon termination of this Agreement, all ongoing obligations of either Party shall also terminate.

13. Termination For Unforeseen Circumstances. Notwithstanding Section 12 of this Agreement, either Party may terminate this Agreement due to unforeseen circumstances upon one (1) year's written

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notice to the other Party. For purposes of this Section, “unforeseen circumstances” means unfavorable financial conditions of the noticing Party, either Party’s unforeseen loss of revenue or funding, or the noticing Party’s unforeseen need for the exclusive use of a facility or site.

14. Dispute Resolution. In the event of any dispute arising under the terms of this Agreement, the Parties shall follow the dispute resolution procedures below.

A. Meet and Confer. The Parties shall meet and confer with the objective of resolving any dispute, controversy, or claim arising out of or relating to this Agreement (“Dispute”) within seventy-two (72) hours of the request of either Party.

B. Non-binding Mediation. If, within seven (7) calendar days, or such longer period as may be agreed upon by the Parties, the Dispute cannot be resolved to the Parties’ mutual satisfaction, either Party may request that a non-binding mediation take place. In such mediation, representatives of the Parties with the authority to resolve the Dispute shall meet with a mutually agreed upon mediator. If the Parties are unable to agree upon a mediator, then either Party may request the American Arbitration Association to appoint a mediator. The mediator’s fee and expenses shall be paid one-half by each Party. Absent written agreement of the Parties to the contrary, the mediation process shall be completed or terminated within forty-five (45) days of the initial request for mediation.

C. Arbitration. In the event that the Parties are unable to resolve the Dispute through non-binding mediation, if elected, the issues in dispute may, upon mutual election by the Parties, be submitted to arbitration pursuant to California Code of Civil Procedure Section 1280 *et seq.* Should the Parties agree to arbitration, the Parties may also choose to agree on whether such arbitration shall decide each and every dispute in accordance with the laws of the State of California, or whether such arbitration shall be non-binding in nature. Nothing herein shall limit the Parties’ rights to any formal judicial determination.

15. Superseding All Prior Agreements. This Agreement sets forth the entire understanding of the Parties relating to the joint use of each Party’s Facilities located on the District and City Sites, and supersedes all prior understandings relating to them, whether written or oral. There are no obligations, commitments, representations, or warranties relating to the facilities except those expressly set forth in this Agreement.

16. Notice.

Any notice or instrument required to be given or delivered by this Agreement may be given or delivered by depositing the same in any United States Post Office, certified mail, return receipt requested, postage prepaid, addressed to:

City of Milpitas
455 E. Calaveras Boulevard
Milpitas, California 95035
Attn: City Manager

Milpitas Unified School District
1331 E. Calaveras Boulevard
Milpitas, CA 95035
Attn: Superintendent

and shall be effective upon receipt thereof.

17. General Provisions.

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- A. Severability. If any provision of this Agreement is held by a court of competent jurisdiction to be invalid, void, or unenforceable, the remaining provisions will nevertheless continue in full force without being impaired or invalidated in any way.
- B. Incorporation of Recitals and Exhibits. The Recitals and Exhibits herein are deemed true and correct, are hereby incorporated into this Agreement as though fully set forth herein, and the Parties acknowledge and agree that they are bound by the same. In the event of any conflict between this Agreement and the Exhibits to this Agreement, the Exhibits shall govern.
- C. Force Majeure. Notwithstanding any other terms and conditions hereof, in the event that a party is materially unable to perform any of its obligations hereunder because of severe weather, natural disasters, epidemics, riots, wars, acts of terrorism, governmental action or other events of force majeure beyond the party's control, then such party shall, upon written notice to the other party hereof, be relieved from its performance of such obligations to the extent, and for the duration that such performance is prevented by such events; provided that such party shall at all times use its best efforts to resume such performance.
- D. Compliance with Law. Each Party agrees to comply with all federal, state and local laws, statutes, codes, ordinances, rules, regulations, policies and requirements (collectively, "Law") regarding their respective use of the Facilities under this Agreement. The Parties further agree that they shall not cause Facilities to be used, occupied, or improved under this Agreement in any manner or for any purpose that is in any way in violation of any Law. If any license, permit, or other governmental authorization is required for either Party's lawful use of the Facilities, such affected Party shall procure and maintain same to the extent required by Law. Each Party shall be solely and completely responsible for the safety of all persons and property associated with their respective use of the Facilities, and all materials, equipment, and supplies provided by such Party during said use shall fully conform to all applicable Law.
- E. No Assignment of Rights. No rights that District or City has under this Agreement may be assigned to any other person(s), entity, agency, or corporation without prior written approval of the other Party.
- F. Non-Discrimination. Neither Party shall employ any discriminatory practices in its performance hereunder, including its employment practices, on the basis of sex, race, color, religion, national origin, ancestry, age, sexual orientation, or physical or mental disability.
- G. Independent Contractor. This Agreement is by and between two independent entities and is not intended to and shall not be construed to create the relationship of agent, servant, employee, partnership, joint venture, or association.
- H. Laws and Venue. This Agreement shall be interpreted in accordance with the laws of the State of California. If any action is brought to interpret or enforce any term of this Agreement, the action shall be brought in a state or federal court situated in the County of Santa Clara, State of California.
- I. Entire Agreement. This Agreement constitutes the entire agreement between the Parties and supersedes all prior discussions, negotiations, and agreements, whether oral or written. This Agreement may be amended or modified only by a written instrument executed by both Parties.

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- J. Approval and Amendment of Exhibits. Notwithstanding the provisions of Section 16.I, any addition to, amendment to, or termination of the Exhibits attached hereto shall take effect only after being approved by both Parties.
- K. Entry and Inspection. Each Party reserves, and shall always have the right, to enter upon the Party's respective sites at reasonable times for the purpose of viewing and ascertaining the condition of the sites.
- L. Third Party Beneficiaries. Nothing in this Agreement shall be construed to confer any rights upon any party not a signatory to this Agreement.
- M. Successors and Assigns. This Agreement shall be binding upon and inure to the benefit of the Parties hereto and their respective heirs, legal representatives, successor, and assigns.
- N. Waiver. The waiver by either Party of any breach of any term, covenant, or condition herein contained shall not be deemed to be a waiver of such term, covenant, condition, or any subsequent breach of the same or any other term, covenant, or condition herein contained.
- O. Counterparts. This Agreement may be signed in multiple counterparts, which, when taken together, shall constitute a single signed original, as though all Parties had signed the same Agreement.
- P. Captions. The captions contained in this Agreement are for convenience of reference only and shall not affect the interpretation of this Agreement.
- Q. Joint Preparation. This Agreement shall be deemed to have been prepared jointly by the Parties, and the usual rule that the provisions of a document are to be construed against the drafter shall not apply.

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**SIGNATURE PAGE FOR JOINT USE AGREEMENT BETWEEN
CITY OF MILPITAS AND MILPITAS UNIFIED SCHOOL DISTRICT
FOR OPEN SPACE**

IN WITNESS WHEREOF, the parties have executed this Agreement as of the date first written above.

CITY OF MILPITAS

Approved By:

DocuSigned by:


Steven G. McHarris, City Manager

Jun-24-2021

Date

Approved As To Form:

DocuSigned by:


Jun-23-2021

Christopher J. Diaz, City Attorney

Approved:

DocuSigned by:


Jun-24-2021

Lauren Lai, CPA, MPA, Finance Director/Risk
Manager

Approved As To Content:

DocuSigned by:


Jun-24-2021

Rence Lorentzen, Recreation and Community
Services Director

MILPITAS UNIFIED SCHOOL DISTRICT

DocuSigned by:


Cheryl Jordan, Superintendent

Jun-23-2021

Date

June 23, 2021

DIR Registration Number (If Applicable)

JUA OPEN SPACE DOCUMENT

- A. Severability. If any provision of this Agreement is held by a court of competent jurisdiction to be invalid, void, or unenforceable, the remaining provisions will nevertheless continue in full force without being impaired or invalidated in any way.
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- D. Compliance with Law. Each Party agrees to comply with all federal, state and local laws, statutes, codes, ordinances, rules, regulations, policies and requirements (collectively, "Law") regarding their respective use of the Facilities under this Agreement. The Parties further agree that they shall not cause Facilities to be used, occupied, or improved under this Agreement in any manner or for any purpose that is in any way in violation of any Law. If any license, permit, or other governmental authorization is required for either Party's lawful use of the Facilities, such affected Party shall procure and maintain same to the extent required by Law. Each Party shall be solely and completely responsible for the safety of all persons and property associated with their respective use of the Facilities, and all materials, equipment, and supplies provided by such Party during said use shall fully conform to all applicable Law.
- E. No Assignment of Rights. No rights that District or City has under this Agreement may be assigned to any other person(s), entity, agency, or corporation without prior written approval of the other Party.
- F. Non-Discrimination. Neither Party shall employ any discriminatory practices in its performance hereunder, including its employment practices, on the basis of sex, race, color, religion, national origin, ancestry, age, sexual orientation, or physical or mental disability.
- G. Independent Contractor. This Agreement is by and between two independent entities and is not intended to and shall not be construed to create the relationship of agent, servant, employee, partnership, joint venture, or association.
- H. Laws and Venue. This Agreement shall be interpreted in accordance with the laws of the State of California. If any action is brought to interpret or enforce any term of this Agreement, the action shall be brought in a state or federal court situated in the County of Santa Clara, State of California.
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APPENDIX: JOINT USE AGREEMENT OPEN SPACE DOCUMENT

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[EXHIBITS]

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City of Milpitas General Use Areas		EXHIBIT: C-1	
Property Owner:	City of Milpitas		
Property Address:	NA		
Property Acreage:	181.28		

Park/Complex Name	Park Acreage
Alviso Adobe	2.26
Sunnyhills Augustine Memorial Park	6.2
Bob McGuire Park	3
Ben Rodgers Park	8.66
Calle Oriente Park	0.35
Cardoza Park	10.15
Cerano Park	1
Creighton Park	5
Dixon Landing Park	11.4
Foothill Park	3.98
Gill Memorial Park	8.16
Hall Memorial Park	9.91
Hidden Lake Park	6.57
Higuera Adobe Park	4.8
Hillcrest Park	5.08
John McDermott Park	0.94
Jones Memorial Park	4.93
McCandless Park **	4
Milpitas Sports Center Complex	24.4
Murphy Park	8.3
O'Toole Elms Park	1.63
Parc Metro East	2.06
Pecot Park	3
Pinewood Park	9.88
Robert E. Browne Park	4.93
Russell Fields JUA	8
Sandalwood Park	3.88
Selwyn Park	0.23
Sinnott Park	4.67
Skatepark	0.46
Starlite Park	3.44
Strickroth Park	4.87
Tom Evatt Park	4.42
Traverse Park Phase 1	0.72
Total	181.28

** Separate Joint Use Agreement

JUA OPEN SPACE DOCUMENT

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Joint Use Area: Cardoza Park Softball Field		EXHIBIT: C.2	
Property Owner:	City of Milpitas	Other Agency Easements: None	
Property Address:	1525 Kennedy Dr.		
Property Acreage:	10.0 Acres		

Description of Area: The Cardoza Park Softball Field area includes one (1) softball field, bleacher seating and walking paths.
Hours of Use: The District may have use of the property during regular school hours until 3:00 PM, or as mutually agreed upon by the District and City.
Terms of Use: The District will shall have access to the site property for the majority use of Calaveras Hills High Physical Education program but not limited to and other student sports activities.
Cost Share: The District shall be solely responsible for all custodial staff costs, including costs related to area amenities (i.e., restrooms), for use of the property during non-regular business hours (after 5pm on weekdays and all day on weekends).

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Joint Use Area: Gill Park Softball Field		EXHIBIT: C.3	
Property Owner:	City of Milpitas	Other Agency Easements: SFPUC	
Property Address:	611 Paseo Refugio Dr.		
Property Acreage:	8.0 Acres		

Description of Area:

The Gill Park Softball Field area includes one (1) softball field, bleacher seating and walking paths.

Hours of Use:

The District may have use of the property during regular school hours until 3:00 PM, or as mutually agreed upon by the District and City.

Terms of Use:

The District will shall have access to the site property for the majority use of Calaveras Hills High Physical Education program but not limited to any other student sports activities.

Cost Share:

The District shall be solely responsible for all custodial staff costs, including costs related to area amenities (i.e., restrooms), for use of the property during non-regular business hours (after 5pm on weekdays and all day on weekends).

APPENDIX: JOINT USE AGREEMENT OPEN SPACE DOCUMENT

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Joint Use Area: Milpitas Sports Center Turf Fields		EXHIBIT: C.4	
Property Owner:	City of Milpitas	Other Agency Easements: None	
Property Address:	1325 E. Calaveras Blvd.		
Property Acreage:	5.0 Acres		

Description of Area:

The Milpitas Sports Center Turf Fields area includes one (1) multi-use football and soccer field, one (1) multi-use soccer field, and two (2) volleyball courts, bleacher seating and walking paths.

Hours of Use:

The District may have use of the property during regular school hours until 3:00 PM, or as mutually agreed upon by the District and City.

Terms of Use:

1. The District will shall have access to the site property for the majority use of Calaveras Hills High Physical Education program but not limited to and other student sports activities.
2. The District shall have access to the property for the Calaveras Hills High School Graduation ceremony, typically held on the first weekend in June.

Cost Share:

Except for the Calaveras Hills High School Graduation ceremony, the District shall be solely responsible for all custodial staff costs, including costs related to area amenities (i.e., restrooms), for use of the property during non-regular business hours, after 5pm on weekdays and all day on weekends.

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Milpitas Unified School District General Use Areas		EXHIBIT: D-1	
Property Owner:	Milpitas Unified School District		
Property Address:	NA		
Property Acreage:	89.55		

SCHOOL NAME	OPEN SPACE ACREAGE
Burnett Elementary School	7.61
Curtner Elementary School	6.52
Mattos Elementary School **	6.7
Milpitas High School	18.37
Pomeroy Elementary School	3.71
Rancho Middle School	16.79
Randall Elementary School	5.99
Rose Elementary School	5.1
Russell Middle School	11.59
Sinnott Elementary School	4.06
Spangler Elementary School	3.55
Weller Elementary School	4.05
Zanker Elementary School	2.21
TOTAL	96.25

** ** Separate Joint Use Agreement

APPENDIX: JOINT USE AGREEMENT OPEN SPACE DOCUMENT

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Joint Use Area: Cesar Chavez Community Garden		EXHIBIT: D.2	
Property Owner:	Milpitas Unified School District	Other Agency Easements: SFPUC	
Property Address:	345 Boulder Street		
Property Acreage:	1.2 Acres		

Description of Area:

1. The Milpitas Cesar Chavez Community Garden is east of Weller Elementary School. The City improved the property by installing garden infrastructure including irrigation, utilities, perimeter fencing north of Sunnyhills Augustine Park.
2. The Hetch Hetchy Trail Access Path is approximately 600 feet long and runs north to south on the west side of the Cesar Chavez Community Garden. The Trail Access Path provides safe access to surrounding parks and Weller Elementary School.

Hours of Use:

1. The City shall have use of the Cesar Chavez Community Garden seven days a week, year-round, from 8:00 a.m. to sunset.
2. The Trail Access Path shall be available to the public, seven days a week, year-round, dawn to dusk.

Terms of Use:

1. Cesar Chavez Community Garden
 - a. City shall assume sole responsibility for the management and oversight of the property, in accordance with the terms of the Agreement, including but not limited to, all programs, events, and services related to the Cesar Chavez Community Garden.
 - b. Weller Elementary School and Sunnyhills Preschool shall be allotted three (3) garden plots for school educational purposes, with the third plot assigned as it becomes available.
 - c. Vehicular access to the identified property shall be restricted to delivery or pick-up of gardening equipment and supplies for gardeners, and for City maintenance purposes only. Vehicular access is restricted to Boyd St. Parking shall otherwise be off-site on Dixon Landing Road or other adjacent streets.
 - d. No power equipment such as rototillers will be allowed before 9:30 a.m. or after 6:00 p.m. daily.
2. Trail Access Path
 - a. The City shall maintain on District property a Trail Access path for residents to safely access the surrounding parks and Weller Elementary School.
 - b. Any District perimeter/safety fencing on the property shall not include the path area. The space between the path and said fencing shall be at least 12" to allow for maintenance and repair.

Maintenance & Improvements:

1. Cesar Chavez Community Garden
 - a. The City shall be responsible for all maintenance of the property, including the fencing around the garden.
 - b. No pesticides shall be used on the property due to State School Pesticide restrictions.
 - c. Any additions, modifications, or capital improvements to the property must be reviewed by the District Superintendent or his/her authorized representative for final approval prior to the commencement of any project.
 - d. The City shall be responsible for all maintenance of the City-installed paved access road at Boulder and Boyd Street, sidewalk entrance/exit to the garden.
2. Trail Access Path

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- | |
|--|
| a. The City shall be responsible for all maintenance and any additions, modifications or capital improvements to the Trail Access Path, including the sidewalk and bollards at Dixon Landing Road. |
|--|

Cost Share:

- | |
|--|
| <ol style="list-style-type: none">1. The cost of maintenance, utilities, and any additions, modifications or capital improvements to the property shall be the sole responsibility of the City.2. If the District sells the property in which the Community Garden is on, the City, at its own cost and expense, shall remove the sewer line within three (3) months of City's receipt of written request by the new owner. |
|--|

APPENDIX: JOINT USE AGREEMENT OPEN SPACE DOCUMENT

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DocuSign Envelope ID: 5DDAD98F-AC98-4D07-8216-4304553D70C7

Joint Use Area: Curtner Elementary School Field		EXHIBIT: D.3	
Property Owner:	Milpitas Unified School District	Other Agency Easements: PG&E	
Property Address:	275 Redwood Dr.		
Property Acreage:	6.5 Acres		

Description of Area:

The Curtner Elementary School Field area consists of open space typically used for youth soccer. The field property line is adjacent to the City of Milpitas Hall Park and field. Infrastructure for field lighting and irrigation in the joint use area is located on both City and District property. (See Map Exhibit D.3.1)

Hours of Use:

The City may have use of the Curtner Elementary School Field per the master JUA.

Terms of Use:

1. Any school site perimeter/safety fencing shall be swing, retractable, or removable so as not to impede on the joint use area or Access Path.
2. The City and third-party users shall have restricted access to the property for equipment for the lining of fields for games played outside of District related events, programs, graduations, and ceremonies. City will inform District prior to lining the field.

Maintenance & Improvements:

1. The City shall be responsible for all field maintenance.
2. The City shall be responsible for all lighting and water utility maintenance and any additions, modifications or capital improvements to the field lighting and irrigation shall be the sole responsibility of the City.

Cost Share:

1. The City shall pay all utilities related to field lighting and irrigation.
2. The City shall pay the District for required custodial staff.

JUA OPEN SPACE DOCUMENT

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Curtner Elementary School Field Joint Use Area

Exhibit D.3.1



APPENDIX: JOINT USE AGREEMENT OPEN SPACE DOCUMENT

JUA OPEN SPACE DOCUMENT

DocuSign Envelope ID: 5DDAD98F-AC98-4D07-8216-4304553D70C7

Joint Use Area: Rancho Middle School Trail Access Path		EXHIBIT: D.4	
Property Owner:	Milpitas Unified School District	Other Agency Easements: None	
Property Address:	1915 Yellowstone Ave.		
Property Acreage:	17.0 Acres		

Description of Area(s):

1. The Rancho Middle School Trail Access Path is approximately 1,042 feet long and runs north to south at the farthest west end of the Rancho Middle School property. The Trail Access Path provides safe access to Sinnott Park, Bob Browne Park, and Murphy Park for the arterial streets opposite the path.

Hours of Use:

1. The Trail Access Path will be available to the public, seven days a week, year-round, dawn to dusk.

Terms of Use:

1. Trail Access Path
 - a. The City shall provide on the property a Trail Access Path for residents to safely access Sinnott Park, Bob Browne Park and Murphy Park.
 - b. Any District perimeter/safety fencing on the property will not include the path area. The space between the path and said fencing shall be at least 12" to allow for maintenance and repair.

Maintenance & Improvements:

1. Trail Access Path
 - a. The City shall be responsible for all maintenance of the Trail Access Path and any additions, modifications or capital improvements to the path, including the sidewalk and bollards, shall be the sole responsibility of the City.
 - b. The City shall maintain the space between the Trail Access Path and fencing.

Cost Share:

None

JUA OPEN SPACE DOCUMENT

DocuSign Envelope ID: 5DDAD98F-AC98-4D07-8216-4304553D70C7

Joint Use Area: Russell Middle School Softball Fields		EXHIBIT: D.5	
Property Owner:	Milpitas Unified School District	Other Agency Easements: SCVWD	
Property Address:	1500 Escuela Parkway		
Property Acreage:	11.5 Acres		

Description of Area:

Currently, the Russell Middle School site includes a City built structure (Snack Shack). The District is scheduled to begin reconstruction of the site in June 2021 to rehabilitate the Russell Middle School Athletic fields, which will consist of two (2) regulation softball fields.

Hours of Use:

The City may have use of the Russell Middle School Softball fields per the terms of this Agreement.

Terms of Use:

1. As of the Effective Date of this Agreement, the District shall be authorized to demolish the City built structure (Snack Shack), which the City has determined as having no value, at the District's expense consistent with the terms of the Agreement, and specifically Paragraph 9 thereof.
2. The City and District shall engage in discussions regarding the terms of use for the site by no later than June 2022 and shall resume discussions in 2023.
3. Should the City's use of this property be more significant than described in the Master JUA Section C. Facility Use – Unforeseen Occurrences, third party users will be referred to the District for direct field rental.

Cost Share:

The City and District shall engage in discussions regarding maintenance and utility costs for the site by no later than June 2022 and shall resume discussions in 2023.

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EXHIBIT E

City of Milpitas and Milpitas Unified School District
Master Joint Use Agreement For Open Space

Ancillary Fees

Milpitas Unified School District Ancillary Fee Schedule:

- Custodial Cost - \$58 - \$78.00/hour (Staff will be on duty for the duration of the event. Custodial clean up time is additional. Grounds staff require a minimum of three (3) hours a day when fields are in use.)

City of Milpitas Ancillary Fee Schedule:

- Custodial Cost - \$50-75.00/hour (Custodian staff will be on duty for the duration of the event. Custodial clean up time is additional; Custodial staff require a minimum three (3) hours a day when fields are in use..)

JUA OPEN SPACE DOCUMENT

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Status: Completed

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Signatures: 5

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455 E Calaveras Blvd

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Milpitas, CA 95035

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rcurrie@ci.milpitas.ca.gov

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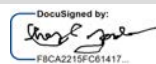
Cheryl Jordan

cjordan@musd.org

Superintendent

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Signature

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Accepted: October 26, 2020 | 17:58

ID: a7af2ff8-f030-4518-860c-05c842f7563e

Christopher J. Diaz

christopher.diaz@bbklaw.com

City Attorney

Security Level: Email, Account Authentication (None)

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Accepted: June 23, 2021 | 18:39

ID: c280cddf-ea16-40e5-b0ea-ff189e1e91be

Lauren Lai

llai@ci.milpitas.ca.gov

Finance Director/Risk Manager

City of Milpitas

Security Level: Email, Account Authentication (None)

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Signed: June 24, 2021 | 11:00

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Renee Lorentzen

rlorentzen@ci.milpitas.ca.gov

City of Milpitas

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APPENDIX: JOINT USE AGREEMENT OPEN SPACE DOCUMENT

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Editor Delivery Events	Status	Timestamp
Agent Delivery Events	Status	Timestamp
Intermediary Delivery Events	Status	Timestamp
Certified Delivery Events	Status	Timestamp
Carbon Copy Events	Status	Timestamp
Rachelle Currie rcurrie@ci.milpitas.ca.gov Senior Executive Assistant City of Milpitas Security Level: Email, Account Authentication (None) Electronic Record and Signature Disclosure: Not Offered via DocuSign		Sent: June 23, 2021 14:09
Rachelle Currie rcurrie@ci.milpitas.ca.gov Senior Executive Assistant City of Milpitas Security Level: Email, Account Authentication (None) Electronic Record and Signature Disclosure: Not Offered via DocuSign		Sent: June 23, 2021 15:13
Rachelle Currie rcurrie@ci.milpitas.ca.gov Senior Executive Assistant City of Milpitas Security Level: Email, Account Authentication (None) Electronic Record and Signature Disclosure: Not Offered via DocuSign		Sent: June 24, 2021 12:20
Wendy Zhang wzhang@musd.org CBO Security Level: Email, Account Authentication (None) Electronic Record and Signature Disclosure: Accepted: June 23, 2021 13:45 ID: 6099e48b-7d96-4469-a16a-b238c98a2555		Sent: June 23, 2021 11:34 Resent: June 24, 2021 12:20 Viewed: June 23, 2021 13:45
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Signing Complete	Security Checked	June 24, 2021 12:20
Completed	Security Checked	June 24, 2021 12:20
Payment Events	Status	Timestamps
Electronic Record and Signature Disclosure		

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Electronic Record and Signature Disclosure created on: January 13, 2020 | 13:50

Parties agreed to: Cheryl Jordan, Christopher J. Diaz, Wendy Zhang

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CEQA DOCUMENTATION

This section includes the Initial Study prepared for the Milpitas Park & Recreation Master Plan Update in compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines and the regulations & policies of the City of Milpitas. This document was prepared by David J. Powers & Associates in September 2021. The end of this section also includes the official Notice of Determination and final CEQA Document Declaration, both completed in October 2021.

APPENDIX: CEQA DOCUMENTATION

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CEQA DOCUMENTATION



MILPITAS PARKS AND RECREATION MASTER PLAN UPDATE

455 East Calaveras Boulevard, Milpitas, CA 94087 | 408.586.3000 Phone | www.ci.milpitas.ca.gov

NEGATIVE DECLARATION

I. LOCATION OF THE PROJECT

The proposed Milpitas Park and Recreation Master Plan Update (Master Plan Update) consists of the 36 existing parks within the City of Milpitas. Regional and vicinity maps of the project area are shown on Figures 1 and 2, respectively.

II. DESCRIPTION OF THE PROJECT

The Master Plan Update is a strategic document that analyzes each of the City's existing parks and identifies improvements to enhance the City's existing public parks and recreation system. The improvements range from maintenance of existing landscaping to the addition of new park amenities such as outdoor community event space, sports fields, and restroom facilities. The Master Plan Update does not identify or recommend construction of new parks within the City. The location of these parks are shown on Figure 3.

III. FINDING

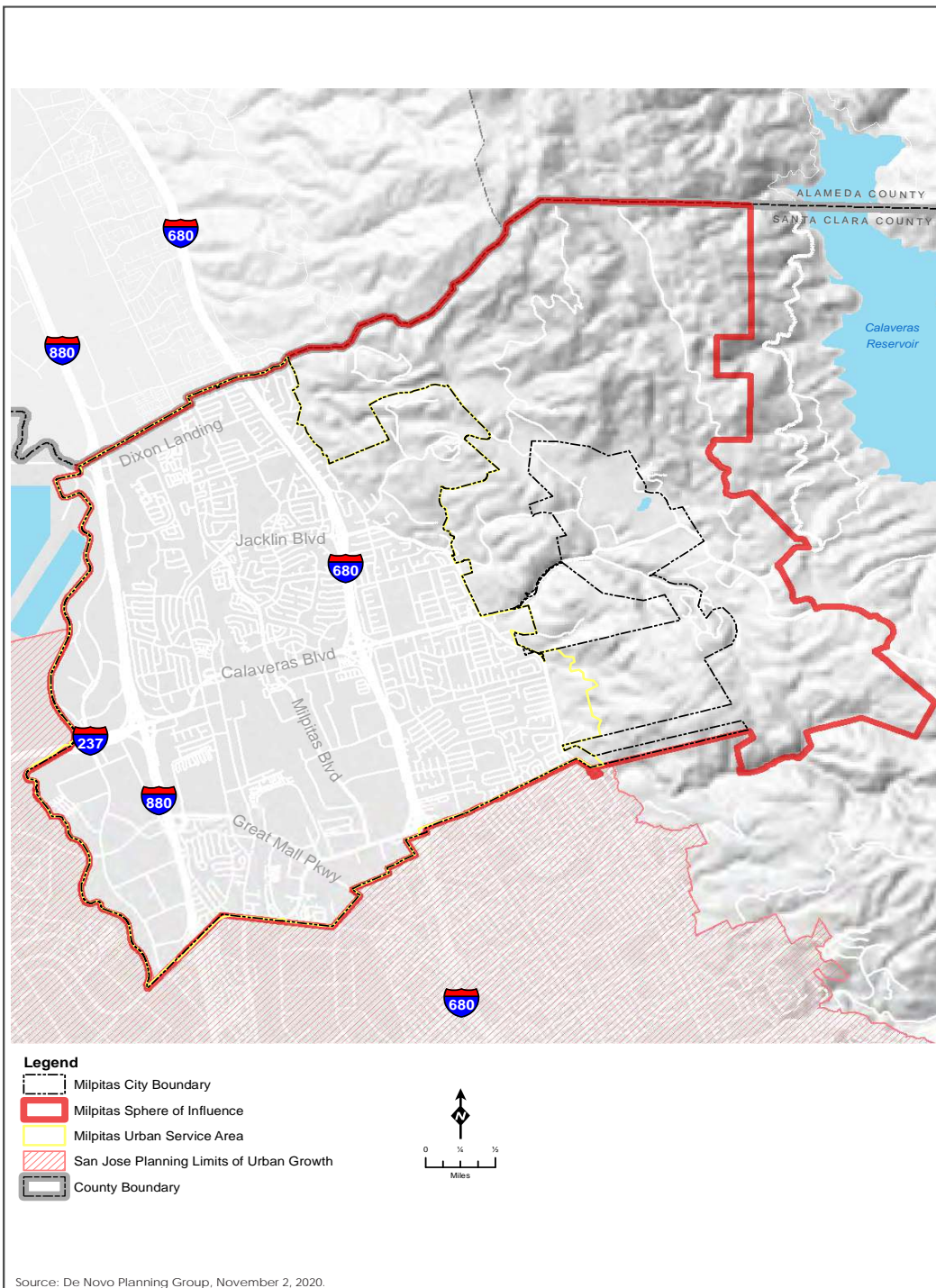
An Initial Study has been prepared by the City of Milpitas. With implementation of the Master Plan Update in accordance with applicable General Plan policies, the City's Municipal Code, local, state, and federal laws and regulations, the project is not anticipated to result in a significant impact.

CEQA DOCUMENTATION



FIGURE 1

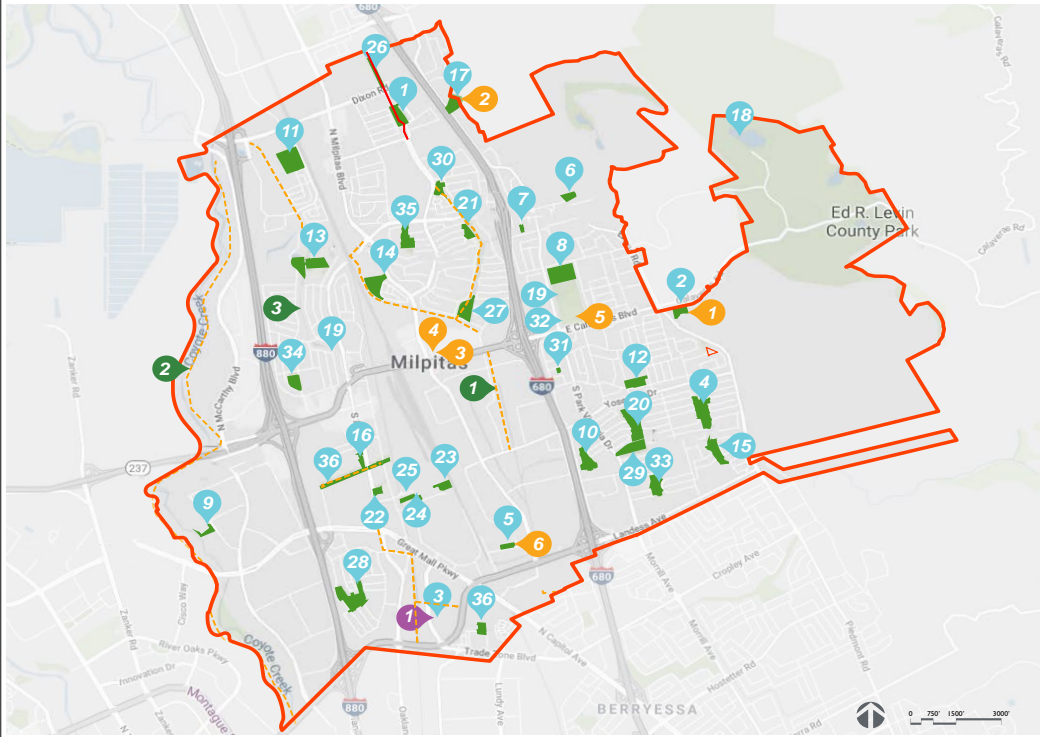
CEQA DOCUMENTATION



VICINITY MAP

FIGURE 2

CEQA DOCUMENTATION



PARKS

- | | |
|---|----------------------------------|
| 1 Sunnyhills Albert Augustine Memorial Park | 16 John McDermott Park |
| 2 Alviso Adobe Park | 17 Jose Higuera Adobe Park |
| 3 Augustus Rathbone Park | 18 Milpitas Dog Park |
| 4 Ben Rodgers Park | 19 Milpitas Sports Center |
| 5 Bob McGuire Park | 20 Murphy Park |
| 6 Calaveras Ridge Open Space | 21 Oliver W. Jones Memorial Park |
| 7 Calle Oriente Mini-Park | 22 O'Toole Elms Park (John) |
| 8 Cardoza Park (Tom) | 23 Parc Metro East |
| 9 Cerano Park | 24 Parc Metro Middle |
| 10 Creighton Park (Frederick) | 25 Parc Metro West |
| 11 Dixon Landing Park | 26 Pecot Park (Bob) |
| 12 Foothill Park | 27 Peter Gill Memorial Park |
| 13 Hall Memorial Park | 28 Pinewood Park |
| 14 Hidden Lake Park | 29 Robert E Browne Park |
| 15 Hillcrest Park | 30 Sandalwood Park |

FUTURE PARKS

- 1 McCandless Park
Midtown Park
Transit Area Parks

FACILITIES

- 1 Alviso Adobe
2 Jose Higuera Adobe
3 Milpitas Community Center
1 Barbara Lee Senior Center
2 Milpitas Sports Center Complex
3 Sal Cracolice Recreation Facility

TRAILS

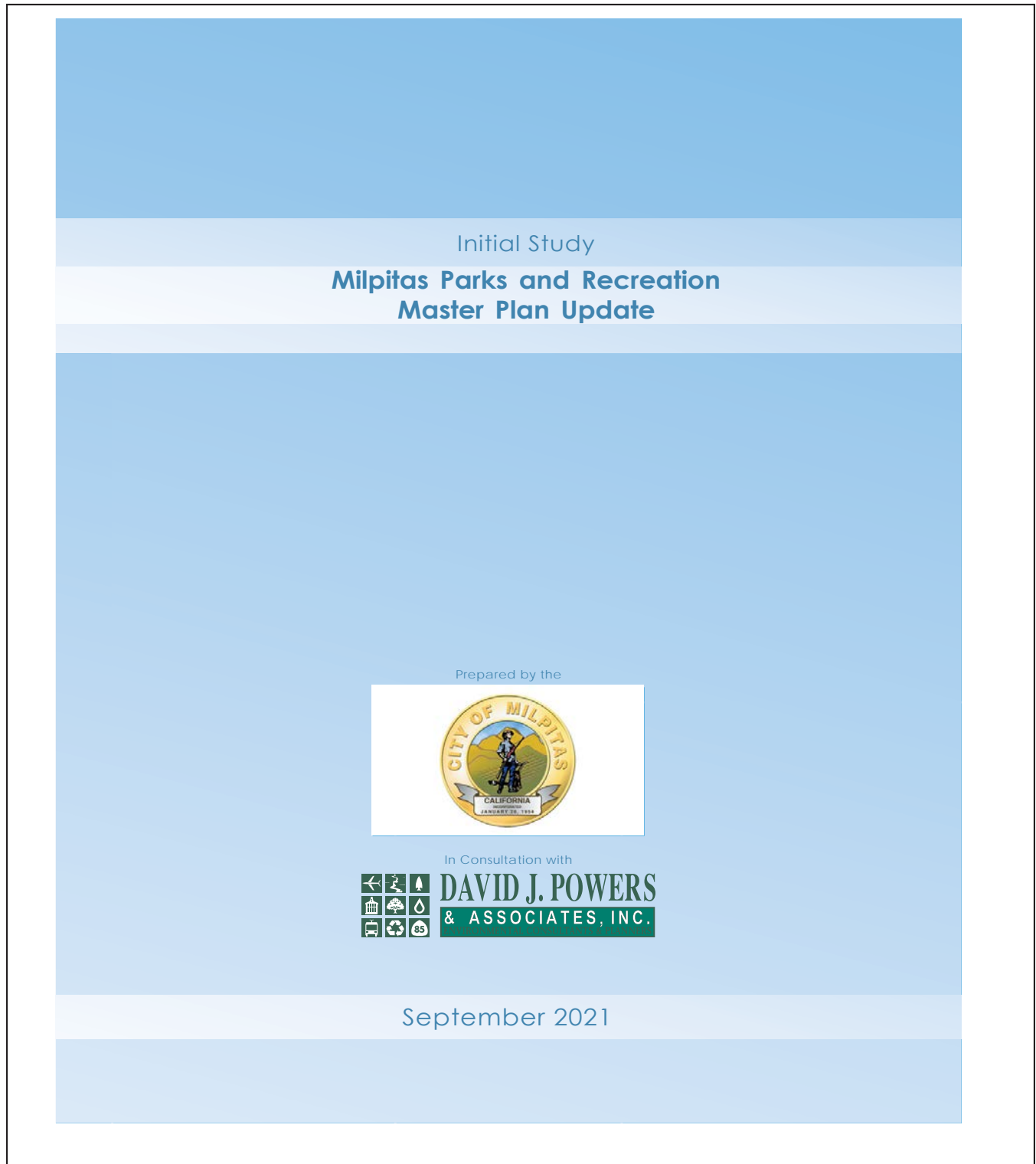
- 1 Berryessa Creek
2 Coyote Creek
3 Penitencia Creek

Source: City of Milpitas, Gates + Associates, June 2021.

EXISTING PARK LOCATIONS

FIGURE 3

CEQA DOCUMENTATION



CEQA DOCUMENTATION

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Appendix A: Existing/Proposed Site Plans and Site Improvements

Appendix B: City of Milpitas and Tamien Nation Meeting Minutes

CEQA DOCUMENTATION

SECTION 1.0 INTRODUCTION AND PURPOSE

1.1 PURPOSE OF THE INITIAL STUDY

The City of Milpitas, as the Lead Agency, has prepared this Initial Study for the Milpitas Park and Recreation Master Plan Update (Master Plan Update) in compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines (California Code of Regulations §15000 et. seq.) and the regulations and policies of the City of Milpitas, California. The Master Plan Update is analyzed at a programmatic level in this Initial Study.

The project proposes to update and make improvements to 34 of the 36 existing parks.¹ This Initial Study evaluates the environmental impacts that might reasonably be anticipated to result from implementation of the proposed project.

1.2 MILPITAS PARKS & RECREATION MASTER PLAN

The City of Milpitas adopted a Park and Recreation Master Plan in 2009, which analyzed park conditions and provided recommended improvements to each of the City's 33 existing parks. The Master Plan Update is an update to the 2009 Milpitas Park and Recreation Master Plan.

1.3 PUBLIC REVIEW PERIOD

Publication of this Initial Study marks the beginning of a 20-day public review and comment period. During this period, the Initial Study will be available to local, state, and federal agencies and to interested organizations and individuals for review. Written comments concerning the environmental review contained in this Initial Study during the 20-day public review period should be sent to:

Ned Thomas, Planning Director
City of Milpitas
Planning Department
455 East Calaveras Boulevard
Milpitas, CA 95035
Phone: 408-586-3273
Email: nthomas@ci.milpitas.ca.gov

1.4 CONSIDERATION OF THE INITIAL STUDY AND PROJECT

Following the conclusion of the public review period, the City of Milpitas will consider the adoption of the Initial Study for the project at a regularly scheduled meeting. The City shall consider the Initial Study together with any comments received during the public review process. Upon adoption of the Initial Study, the City may proceed with project approval actions.

¹ No improvements have been proposed for Bob McGuire Park or Creighton Park. In addition, McCandless Park is currently under construction and was not included as part of the existing parks.

CEQA DOCUMENTATION

1.5 NOTICE OF DETERMINATION

If the project is approved, the City of Milpitas will file a Notice of Determination (NOD), which will be available for public inspection at the County Clerk's Office for 30 days. Filing of the NOD starts a 30-day statute of limitations on court challenges to the approval under CEQA (CEQA Guidelines Section 15075(g)).

CEQA DOCUMENTATION

SECTION 2.0 PROJECT INFORMATION

2.1 PROJECT TITLE

Milpitas Parks and Recreation Master Plan Update

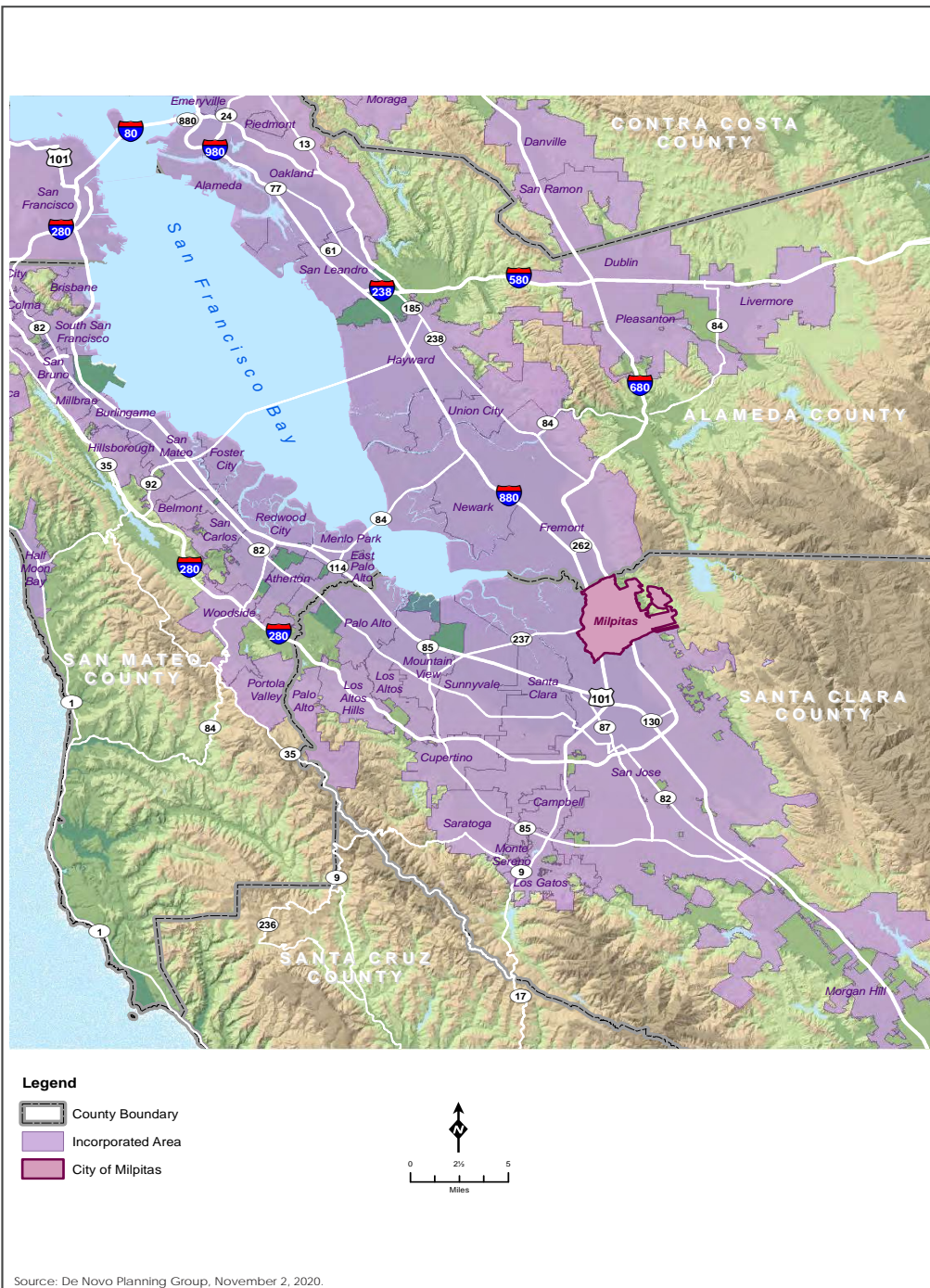
2.2 LEAD AGENCY CONTACT

Ned Thomas, Planning Director
City of Milpitas
Planning Department
455 East Calaveras Boulevard
Milpitas, CA 95035
Phone: 408-586-3273
Email: nthomas@ci.milpitas.ca.gov

2.3 PROJECT LOCATION

The location of the proposed Master Plan Update consists of the 36 existing parks within the City of Milpitas. A regional map of the project area is shown on Figure 2.3-1 and a vicinity map of the existing park locations within the City is shown on Figure 2.3-2.

CEQA DOCUMENTATION



REGIONAL MAP

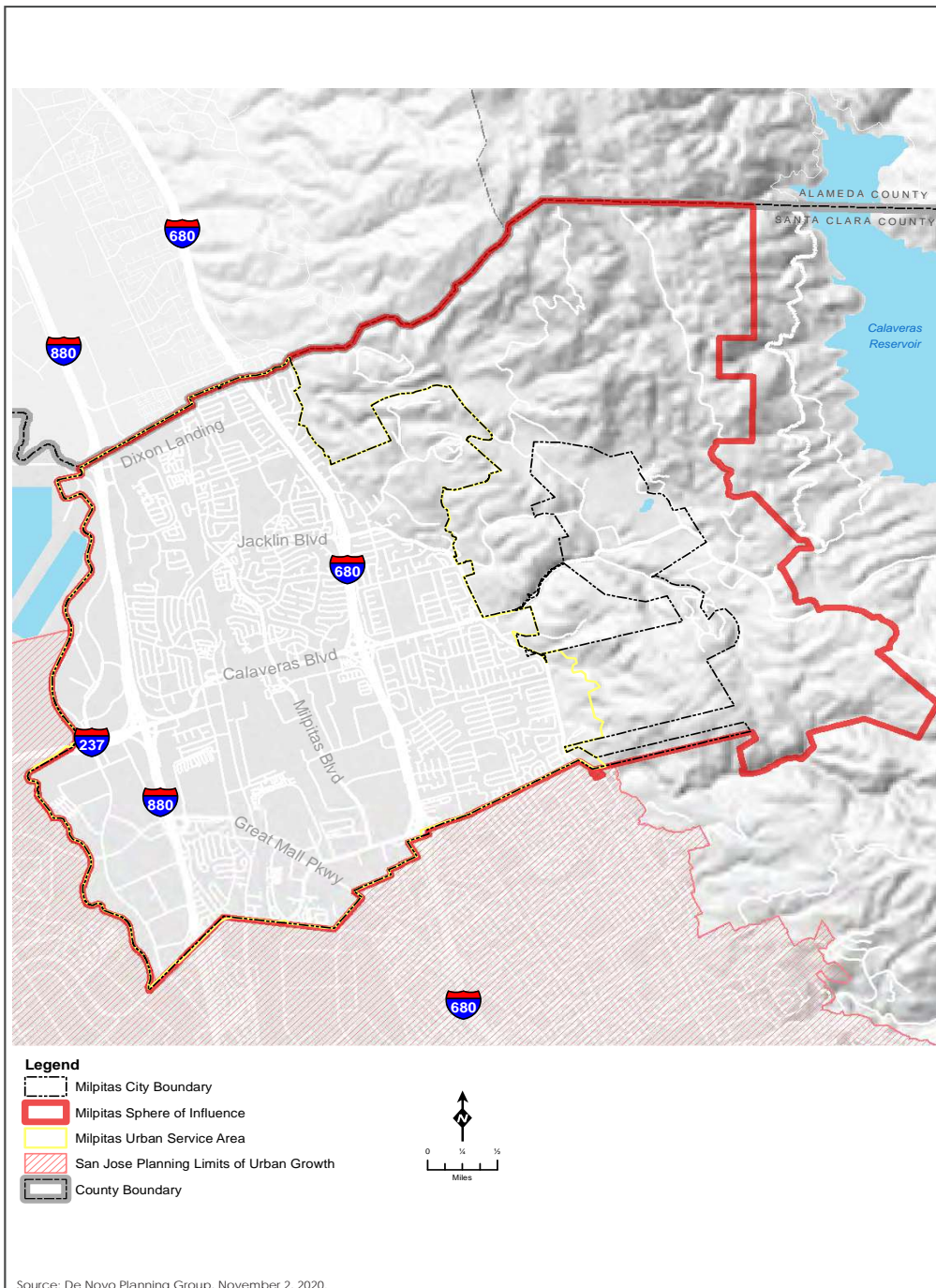
FIGURE 2.3-1

Milpitas Parks and Recreation Master Plan Update
City of Milpitas

6

Initial Study
September 2021

CEQA DOCUMENTATION



VICINITY MAP

FIGURE 2.3-2

CEQA DOCUMENTATION

SECTION 3.0 PROJECT DESCRIPTION

There are 36 existing public parks and one park currently under construction within the City of Milpitas. The locations of these parks are shown on Figure 3.0-1. The Master Plan Update is a strategic document that analyzes each of the City's existing parks and identifies improvements to enhance the City's existing public parks and recreation system. The improvements range from maintenance of existing landscaping to the addition of new park amenities such as outdoor community event space, sports fields, and restroom facilities. The Master Plan Update does not identify or recommend construction of new parks within the City. A brief description of the recommended improvements at each park is provided below. The existing and proposed site plans for each park along with a detailed list of the planned improvements are provided in Appendix A.

Alviso Adobe Park is a 2.3-acre special purpose park facility located at 2087 Alviso Adobe Court. The park was constructed in 1837 after the City acquired the property in 1996 and has been renovated four times with the last renovation occurring in 2013. The City is currently renovating the interior of the adobe buildings which will open to the public as an educational museum in 2022.

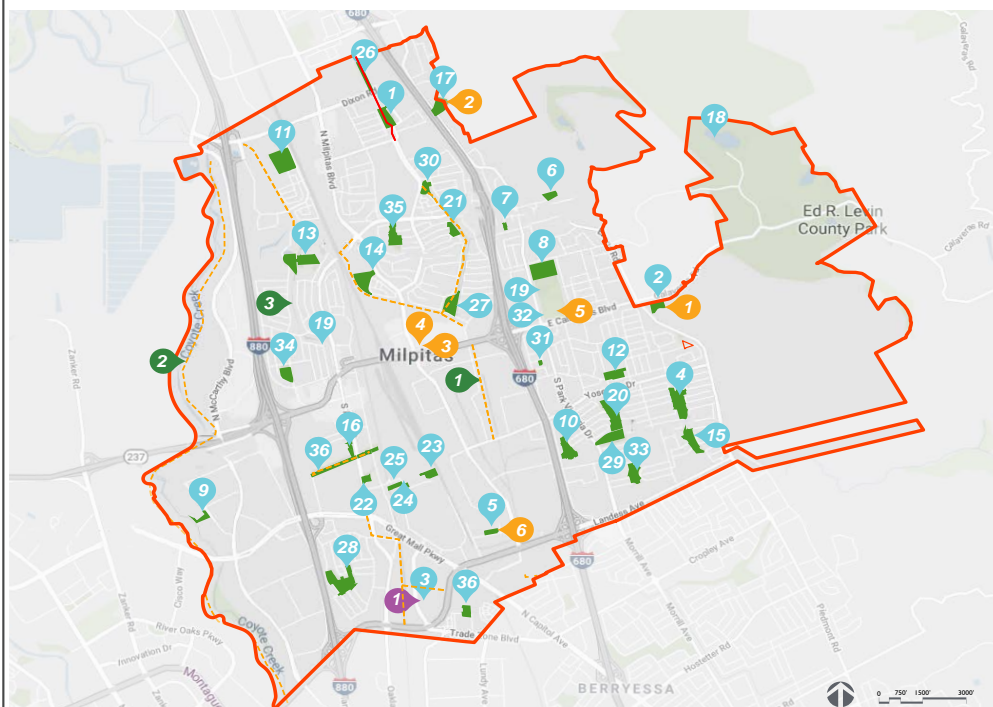
Alviso Adobe Park contains several historic buildings and artifacts from the historic Alviso Adobe ranch. The park is built around the Jose Maria Alviso residence. The northern end of the site features small picnic areas with tables. Distributed through the planting areas are historic artifacts from the days of the Adobe's habitation, with interpretive educational signage. An educational art piece is located at the center of the park. There is a public restroom and drinking fountain at the entrance. Well-maintained trash enclosures and dog stations are located throughout the park. Planned improvements would include landscape maintenance, clearing pathways of moss, and refurbishing the restrooms.

Augustus Rathbone Park is a 0.7-acre neighborhood park located at Expedition Lane and Jubilee Drive. The park was constructed in 2017. Existing amenities include shaded picnic areas with accessible seating, a playground, and an open lawn. Planned improvements include ongoing maintenance work.²

Ben Rodgers Park is an 8.6-acre community park located at Grand Teton Drive off Sequoia Drive. The northern section of the park was constructed in 1970 while the southern section of the park was constructed in 1989. The playground was renovated in 2020. The park consists of several picnic areas, open lawns, and a play area. The northern and southern portions of the park were constructed at different times and have different furnishings and pathway styles. On the north side, the park is primarily an open field that is utilized as an informal baseball pitch. A picnic area with picnic tables and barbeques is located near the entrance. The south side consists of asphalt paths providing connections to picnic and seating areas. Planned improvements include repairing the entry sign and all park rules signs, replacing a bike rack, replacing and updating the picnic areas, adding restrooms, paving gravel trails and adding pedestrian lighting, replacing backstop at baseball field, replacing all benches, standardizing lighting, replacing all park rules signs, implementing right-of-way improvements, and landscape maintenance.

² Additional improvements may occur at Augustus Rathbone Park. These improvements would be identified and evaluated as part of the Milpitas Metro Specific Plan.

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PARKS

- | | | |
|---|----------------------------------|----------------------------|
| 1 Sunnyhills Albert Augustine Memorial Park | 16 John McDermott Park | 31 Selwyn Park |
| 2 Alviso Adobe Park | 17 Jose Higuera Adobe Park | 32 Skate Park |
| 3 Augustus Rathbone Park | 18 Milpitas Dog Park | 33 Sinnott Park (John) |
| 4 Ben Rodgers Park | 19 Milpitas Sports Center | 34 Starlite Park |
| 5 Bob McGuire Park | 20 Murphy Park | 35 Strickroth Park (Henry) |
| 6 Calaveras Ridge Open Space | 21 Oliver W. Jones Memorial Park | 36 Tom Evatt Park |
| 7 Calle Oriente Mini-Park | 22 O'Toole Elms Park (John) | |
| 8 Cardoza Park (Tom) | 23 Parc Metro East | |
| 9 Cerano Park | 24 Parc Metro Middle | |
| 10 Creighton Park (Frederick) | 25 Parc Metro West | |
| 11 Dixon Landing Park | 26 Pecot Park (Bob) | |
| 12 Foothill Park | 27 Peter Gill Memorial Park | |
| 13 Hall Memorial Park | 28 Pinewood Park | |
| 14 Hidden Lake Park | 29 Robert E Browne Park | |
| 15 Hillcrest Park | 30 Sandalwood Park | |

FACILITIES

- | |
|-------------------------------------|
| 1 Alviso Adobe |
| 2 Jose Higuera Adobe |
| 3 Milpitas Community Center |
| 4 Barbara Lee Senior Center |
| 5 Milpitas Sports Center Complex |
| 6 Sal Cracolice Recreation Facility |

FUTURE PARKS

- | |
|--------------------|
| 1 McCandless Park |
| Midtown Park |
| Transit Area Parks |

TRAILS

- | |
|--------------------|
| 1 Berryessa Creek |
| 2 Coyote Creek |
| 3 Penitencia Creek |

Source: City of Milpitas, Gates + Associates, June 2021.

EXISTING PARK LOCATIONS

FIGURE 3.0-1

CEQA DOCUMENTATION

Bob McGuire Park is a 3.0-acre neighborhood park located at 791 Garden Street. The park was constructed in 2015 with the multi-family housing development. The park consists of four tennis courts, two playgrounds, a covered amphitheater, and access to the Sal Cracolice Recreation Facility. No planned improvements to Bob McGuire Park are recommended in the Master Plan Update.

Calaveras Ridge Park is a 1.8-acre open space park located at Calaveras Ridge Drive. Planned improvements include adding a granite path with pedestrian lighting, adding an overlook with picnic tables and telescopes, barbecues, and educational astronomy signage, adding benches along walkways, and adding public art and drought tolerant native planting at the entrance.

Calle Oriente Mini Park is a 0.4-acre urban park located along Calle Oriente Street. The park was constructed in 1978 and was renovated in 2010. The northern end of the park has a half basketball court and a small lawn area while the southern end of the park has a picnic and play area. Planned improvements include replacing the shade sail fabric around the picnic area, replacing the swing set, replanting all landscaped areas with drought-tolerant California native planting, repairing irrigation system, and landscape maintenance.

Cardoza Park is a 10.2-acre community park located along Kennedy Drive. The park was constructed in 1973 and the park's western end was renovated in 2009 with new playgrounds and picnic areas. The play areas on the western portion were updated in 2020 with new playground surfacing and play structure equipment. A baseball field is centrally located on the park. The western portion contains two play structures, small picnic areas, an open space area with a public art program, and a parking lot. The eastern portion contains three picnic areas with tables and barbecues and a parking lot. The eastern portion will be redeveloped as part of the Milpitas Sports Center Master Plan, which was approved by the City in 2000.

The Master Plan Update includes two site improvement options for Cardoza Park (Option A and Option B). Option A would replace the existing baseball field with three new softball fields, adding community event space, repaving and adding decomposed granite paths, ensuring ADA access to the Milpitas Sports Center Complex, resurfacing and restriping the east parking lot, adding an entrance sign at the east parking lot, updating the picnic areas, landscape maintenance, and refurbishing the restrooms. Option B would replace the existing baseball field with four new softball fields, adding community event space, repaving and adding decomposed granite paths, ensuring ADA access to the Milpitas Sports Center Complex, resurfacing and restriping the east parking lot, updating the picnic areas, landscape maintenance, and refurbishing the restrooms.

Cerano Park is a 2.0-acre neighborhood park that was constructed in 2013 and is located adjacent to the Cerano residential development and tech campuses along Murphy Ranch Road. The east portion of the park is within the City and County of San Francisco Hetch Hetchy pipeline property. Any renovations in this portion of the park require a permit from the San Francisco Public Utilities Commission (SFPUC). The park consists of a tennis court, half basketball court, playground, picnic area, and a concessions and restroom facility. Planned improvements include adding a sand volleyball court and net, updating the play areas, replacing existing barbecues with group barbecues, landscape maintenance, graffiti removal, lawn reseeding, refurbishing the restrooms, and repair poured in place surfacing.

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Creighton Park is a 5.0-acre neighborhood park located at Olympic Drive, west of South Park Victoria Street. The park consists of a playground, picnic areas, fitness course stations, and lawn areas. The park was constructed in 1989 and was completely renovated in 2020. No planned improvements to Creighton Park are recommended in the Mater Plan Update.

Dixon Landing Park is a 11.4-acre community park located at Milmont Drive off Dixon Landing Road. The park is bounded by residences on three sides and railroad tracks to the east. The park has two small baseball fields, a full-size baseball field, a cricket pitch, three tennis courts, a basketball court and a concessions and restroom facility. The park was constructed in 1989 and play areas were renovated in 2020. Planned improvements include updating the fields for multi-use play, formalizing the cricket pitch, removing hazardous trees, updating the picnic areas, adding benches, adjusting the fence line at the main softball field, updating the parking lot, adding trees along the western edge, implementing right-of-way improvements, replacing the drinking fountain, landscape maintenance, and refurbishing the restroom and concession facility.

Foothill Park is a 4.0-acre community park adjacent to Alexander Rose Elementary School and along Roswell Drive. The park was constructed in 1967 and the play area was renovated in 2020. The park consists of a picnic and play area. Planned improvements include paving the existing picnic area with concrete, adding a new picnic area, paving central area, replacing the benches, dog stations gravel path, replacing the pedestrian lighting, mulching bare planting areas, adding a dog waste station, implementing right-of-way improvements, and refurbishing the restroom.

Hall Memorial Park is a 9.9-acre neighborhood park located along La Honda Drive and adjacent to Curtner Elementary School. Lower Penitencia Creek Channel bisects the park. The eastern side of the park contains two playgrounds, four tennis courts, picnic areas, a restroom, and a soccer field that is shared with the Curter Elementary School. A pedestrian bridge over the Lower Penitencia Creek Channel provides access to the western side of the park, which consists of open space with picnic tables and benches. The park was constructed in 1979 and last renovated in 2007 (pathway improvements). Planned improvements include replacing the bleachers, player benches, and goals at the existing soccer field, expanding the picnic areas, replacing all benches and tables at playground and tennis courts, updating the parking lot, replacing playground and sand surfacing, replacing the playground chain link fence, resurfacing the tennis courts, replacing the ball-wall, painting pickleball court lines, replacing gravel paths with concrete, repaving asphalt paths, refurbishing restroom, replacing the east entry sign, adding shade structures over benches, replacing pedestrian lighting, adding a wood observation deck, replanting entry areas, reseeding turf area, implementing right-of-way improvements, and landscape maintenance.

Hidden Lake Park is a 6.6-acre neighborhood park located on North Milpitas Boulevard. The park includes a large stormwater retention basin surrounded by a path that connects to the Berryessa Creek Trail. The stormwater retention basin captures runoff from the surrounding area before releasing it into the Berryessa Creek. There are picnic areas and seating located around the perimeter of the path. The park was constructed in 1984 and last renovated in 1987. Planned improvements include repairing/repaving the asphalt path and parking lot, updating the picnic areas, adding a restroom, adding benches, adding interactive exhibits and educational signs, adding pedestrian lighting along path, adding distance markers for joggers, bringing stairs up to current code, repainting ornamental fence, replace current fishing pier and exploring boat activity programming, planting trees along walking path, landscape maintenance, repairing the parking lot, and conducting tree survey.

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Hillcrest Park is a 5.1-acre neighborhood park located at Fieldcrest Drive off Crescent Terrace. The park consists of a small play area and group picnic area. The park was constructed in 1989 and last renovated in 2020 (playground). Planned improvements include updating picnic areas, replacing benches, replacing missing park hours sign, replace drinking fountain, implementing right-of-way improvements, adding fitness stations, chess/checkers picnic game tables, additional benches, dog stations, concrete seating areas, and restrooms, and landscape maintenance.

John McDermott Park is a 0.9-acre urban park that was constructed in 2007 as part of the Terra Serana development. The park consists of a lawn area, a children's play area, picnic tables, and a restroom. Planned improvements include replacing an existing picnic table with an ADA accessible table, updating the play areas, removing bollards, adding a fenced dog area, and landscape maintenance.

Jose Higuera Adobe Park is a 4.8-acre neighborhood park located along Wessex Place. The park was constructed in 1980 and is built around the historic Jose Higuera Adobe. Historical exhibits are displayed in the adobe and around the park for visitors. The park was last renovated in 2017 and includes picnic areas, barbecues, and a play area. Planned improvements include adding a chain link fence and gates and landscape maintenance.

McCandless Park is a 4.0-acre neighborhood park located along McCandless Drive that is currently under construction. The all-abilities park would include joint-use park areas for the City and Mabel Mattos Elementary School, sports fields, picnic areas, play structures, dog parks, walking trails, and restrooms. The park would also include a new pedestrian bridge of East Penitencia Creek channel and a potable water well. No planned improvements to McCandless Park are recommended in the Master Plan Update.

Milpitas Dog Park is a 1.6-acre special-use park constructed in 2004 and is located within Ed Levin County Park. This park is part of a joint-use agreement with the Santa Clara County Parks Department. The dog park is divided into a large dog area, a small dog area, and a fenced in entrance area. Planned improvements include replacing all informational and regulatory signage at the park entry and updating ADA parking to ADA code.

Milpitas Sports Center Complex, approximately 20.3 acres in size, is located at 1325 East Calaveras Boulevard. The sports center complex is currently comprised of one full-size baseball field, four practice baseball fields, a soccer/football field, a practice soccer field, a skatepark, and a restrooms/concessions/storage building. The concession building was constructed in 2020. Planned improvements include paving all decomposed granite paths, installing a new storm drainage system, bringing stairs to Cardoza park up to code, refurbishing player benches, replacing aging bleachers and scoreboards and entry plaza benches, replacing chain link fencing, removing and replacing all hazardous trees, and landscape maintenance.

Murphy Park is an 8.3-acre neighborhood park that was constructed in 1969 and is located immediately adjacent to Merryhill Elementary School. Residential neighborhoods surround the park on all sides. The park is currently developed with picnic and play areas. The northern side of the park is an open turf field used for soccer and other recreation activities. The asphalt paths and parking lot were resurfaced in 2017/2018. Planned improvements include paving picnic areas with granite paving, adding an outdoor community event space, replacing the play area pedestrian lighting, park

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entry sign, and dog waste station, updating/adding picnic areas, repaving asphalt areas, updating the parking lot, replacing workout equipment, refurbishing the restrooms, implementing right-of-way improvements, and landscape maintenance.

Oliver W. Jones Memorial Park is a 4.9-acre neighborhood park located along Jacklin Road off North Hillview Drive. The park was constructed in 1973 and was last renovated in 2020. The park consists of open lawn areas, two play areas, and walking paths. Planned improvements include adding picnic areas and a single stall restroom, paving gravel paths, replacing benches and pedestrian lighting, constructing a hangout space and bouldering wall, installing ADA curb ramps, and landscape maintenance.

O'Toole Elms Park is a 1.6-acre neighborhood park located between South Abel Street and South Main Street. The park is located adjacent to the Milpitas Fire Department and multi-family development. The park was constructed in 2007 and last renovated in 2009 and consists of play areas, picnic areas, and message kiosks. Planned improvements include repairing playground equipment and surfaces, replacing kiosks, replacing pedestrian pavers with stamped concrete, updating the parking lot, and landscape maintenance.

Parc Metro Central is a 0.6-acre urban park located along Metropolitan Drive and Comet Drive. The park was constructed in 2003 along with Parc Metro East and West as part of the Midtown Redevelopment. The park consists of a large open lawn area, seating areas, and play areas. Planned improvements include constructing hang out space, removing and replacing play areas, replacing benches, replacing drinking fountains, repainting metal fencing, and landscape maintenance.

Parc Metro East is a 2.1-acre urban park located at the end of the East Curtis Avenue cul-del-sac. Parc Metro East has a seating area, play area, and restroom. Planned improvements include replacing play areas, picnic tables, barbecues, and benches, updating concrete paths, replanting entry planters, repair drainage issues, refurbishing the restroom, conduct tree survey to identify hazardous trees, and landscape maintenance.

Parc Metro West is a 1.0-acre urban park located at East Curtis Avenue and Comet Drive. The park has benches and chess tables and a large play structure. Planned improvements include repairing the play areas, replacing the picnic tables, bike rack, park rules signage, and benches, repainting ornamental fencing, and landscape maintenance.

Pecot Park is a 3.0-acre linear neighborhood park located along Dixon Road and Conway Street. The park was constructed in 1997 and consists of a linear walking path with a bench and landscaping. Planned improvements include replacing the bench, repairing the asphalt path, landscape maintenance, replanting all landscaped areas with drought-tolerant California native planting, implementing right-of-way improvements, and reseeding turf areas.

Peter Gill Memorial Park is an 8.2-acre community park located at Santa Rita Drive and Paseo Refugio Road. The park was constructed in 1978 and last renovated in 1987. The park is surrounded by residential neighborhoods, and consists of a full-size baseball field, three tennis courts, a basketball court, a handball court, picnic areas, and workout equipment. Planned improvements include updating the softball field, replacing play areas, updating picnic areas, updating the parking lot, adding a fenced dog area, replacing fitness equipment, benches, and bike rack, resurfacing the

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handball court, refurbishing the restroom, implementing right-of-way improvements, and landscape maintenance.

Pinewood Park is a 9.9-acre neighborhood park located at Lonetree Court and Starlite Drive. The park was constructed in 1966 and last renovated in 2019 (tennis courts). Pinewood Park is located adjacent to Pearl Zanker Elementary School and residences. The eastern side of the park consists of two playgrounds, a basketball court, and tennis courts. A turf lawn is located at the center of the park. The western side of the park consists of a play area, a pump station and well, and picnic areas. Planned improvements include replacing basketball backboards, repairing playground equipment and poured in place surfacing, landscape maintenance, conducting tree survey to identify hazardous trees, and refurbishing the restroom.

Robert E. Browne Park is a 4.9-acre neighborhood park located along Yellowstone Avenue. The park was constructed in 1965 and last renovated in 2019 (tennis courts). The park consists of tennis courts, seating areas, and a passive use lawn area with a perimeter walking/workout station trail. Planned improvements include adding an entrance plaza with seating, adding picnic areas, replacing benches and drinking fountain, repairing tennis court fencing and netting, adding a community garden, adding a single stall restroom, replacing fitness equipment, repaving asphalt paths with concrete, adding two full-size basketball courts, adding pedestrian lighting, updating concrete paths, removing graffiti, implementing right-of-way improvements, conducting tree survey to identify hazardous trees, and landscape maintenance.

Sandalwood Park is a 3.9-acre neighborhood park located along Escuela Parkway and Russell Lane. The park was constructed in 1977 and consist of play equipment, horseshoe pits, seating, and picnic areas. The redesign of Sandalwood Park was approved by the City in 2019 and construction drawings were completed by Gates + Associates in 2021. The planned improvements are on hold pending future funding. Planned improvements include adding a play area, fitness stations, picnic area with shade structures, restroom, asphalt pathways, and pedestrian lighting, converting the existing horseshoe pits into a basketball court, replacing all benches, drinking fountains, picnic tables, bike racks, and landscape maintenance.

Selwyn Park is a 0.2-acre urban park located along Selwyn Drive and Dempsy Street. The park was constructed in 1968 and last renovated in 2003 (playground), and consists of a playground, picnic area, and half basketball court. Planned improvements include adding picnic areas, replacing the play area, benches, fencing, dog station, and park rules sign, replanting all landscaped areas with drought-tolerant California native planting, repairing irrigation system, and landscape maintenance.

Sinnot Park is a 4.7-acre neighborhood park located between Clear Lake Avenue and Tahoe Drive. The park was constructed in 1970 and consists of a restroom, a play area, picnic areas, and a sand volleyball court. Planned improvements include adding a community garden, pickleball courts, dog stations, and signage, replacing the play area, fitness equipment, drinking fountains, pedestrian lighting, wayfinding signage, and all gravel paths with concrete paths, replacing benches, bike rack, dog waste station, and swing set, implementing right-of-way improvements, updating the picnic area, conducting tree survey to remove hazardous trees, refurbishing the restroom, and landscape maintenance.

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Starlight Park is a 3.4-acre neighborhood park located along North Abbott Avenue and Rudyard Drive. The park was constructed in 1963 and is divided into two main areas. The northern side consists of a play area and restroom while the picnic area is located to the south. A lawn and horseshoe pit are located at the center of the park. Planned improvements including adding a pump track and pedestrian lighting, replacing the play area, benches, bike rack, park rules signage, and gravel paths with concrete paths, updating the picnic area, refurbishing the restroom, conducting tree survey to remove hazardous trees, removing the horseshoe pits, replanting all landscaped areas with drought-tolerant California native planting, and landscape maintenance.

Strickroth Park is a 4.9-acre neighborhood park located along Martil Way and Gemma Drive. The park was constructed in 1974 and includes a picnic area, two playgrounds, and a turf field. Planned improvements include adding a cricket pitch, parking lot, pedestrian lighting, and restroom, replacing the play area, benches, and asphalt paths with concrete paths, updating the picnic area, refurbishing hill tunnel play feature, improve drainage areas, replanting all landscaped areas with drought-tolerant California native planting, repairing irrigation system, implementing right-of-way improvements, replacing bike rack, park rules signage, dog waste station, drinking fountain, and metal fencing at play area, conducting tree survey to remove hazardous trees, and landscape maintenance.

Tom Evatt Park is a 4.4-acre neighborhood park that extends from Hammond Way to the east to Thompson Court to the west. The eastern end of the park consists of tennis courts, two half basketball courts, two bocce ball courts, a playground, and a picnic area. The park is within the City and County of San Francisco Hetch Hetchy pipeline property. Any renovations in this portion of the park require a permit from the SFPUC. Planned improvements include updating the play area, replanting and replacing sod in the butterfly garden, replacing benches, picnic tables, and pedestrian pavers with patterned stamped concrete, removing graffiti, replacing entry signage, removing graffiti, refurbishing the bocce ball courts, and landscape maintenance.

Sunnyhills Albert Augustine Jr. Park is a 6.2-acre neighborhood park located at Conway Street and Coelho Street. The park was constructed in 1963 and the playgrounds were renovated in 2002. The park is bounded by residential neighborhoods to the east and west and Joseph Weller Elementary School and the Milpitas Community Garden to the north. The park consists of picnic areas, two playgrounds, and large open lawn areas. Planned improvements include adding an outdoor community event space and 20-car parking lot, removing and replacing play areas, benches, pedestrian lighting, signage, dog waste station, and decomposed granite paths with concrete paths, refurbishing restrooms, adding six fitness stations and a dog area, right-of-way improvements, and landscape maintenance.

The planned improvements for each of the existing parks are summarized on the following page in Table 2.3-1.

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Parks	
Improvements	Alviso Adobe Augustus Rathbone Ben Rodgers Bob McGuire Calaveras Ridge Calle Oriente Cardoza (Option A) Cardoza (Option B) Cerano Creighton Dixon Landing Foothill Hall Memorial Hidden Lake Hillcrest John McDermott Jose Higuera Adobe McCandless Milpitas (Dog Park) Milpitas Sports Center Complex Murphy Oliver W. Jones Memorial O'Toole Elms Parc Metro East Parc Metro Central Parc Metro West Pecot Peter Gill Memorial Pinewood Robert E. Browne Sandalwood Selwyn Sinnot Starlight Strickroth Sunnyhills Albert Augustine Tom Evatt
New nine-inch concrete path	
Replant butterfly garden and replace sod	
Add concession facility	
Add wood structure	
Remove hazardous trees	
Replace bike rack	
Refurbish bocce ball courts or hill tunnel	
Add or reskin cricket pitch	
Add pickleball court	
Replace drinking fountain	
Replace steps or stairs	

CEQA DOCUMENTATION

Table 2.3-1: Existing Parks and Proposed Site Improvements

Parks																																					
Improvements	Alviso Adobe	Augustus Rathbone	Ben Rodgers	Bob McGuire	Calaveras Ridge	Calle Oriente	Cardoza (Option A)	Cardoza (Option B)	Cerrano	Creighton	Dixon Landing	Foothill	Hall Memorial	Hidden Lake	Hillcrest	John McDermott	Jose Higuera Adobe	McCandless	Milpitas (Dog Park)	Milpitas Sports Center Complex	Murphy	Oliver W. Jones Memorial	O'Toole Elms	Parc Metro East	Parc Metro Central	Parc Metro West	Pecot	Peter Gill Memorial	Pinewood	Robert E. Browne	Sandalwood	Sedwyn	Sinnot	Starlight	Strickroth	Sunnyhills Albert Augustine	Tom Esott
Replace scoreboards																				x																	
Repair boat dock														x																							
Add shade structure												x	x	x																							
Add basketball courts																													x	x							
Repaint metal fence														x										x	x												
Entrance node																													x								
Pave areas with granite paving																					x																
Add new trees										x				x							x																
Replace ball-wall													x																								
Add community garden																													x			x					
Add or replace dog station												x									x										x	x			x	x	
Add fenced dog area																x												x								x	
Right of Way Improvements ³		x									x	x	x		x	x											x	x		x			x		x	x	

³ Right of Way Improvements include installing/removing/replacing ADA curb ramps at park entrances, accessibility signage, bollards, crosswalk striping, and/or sidewalk, curb and gutter repairs as needed.

CEQA DOCUMENTATION

Table 2.3-1: Existing Parks and Proposed Site Improvements

Parks																																							
Improvements	Parks																																						
	Alviso Adobe	Augustus Rathbone	Ben Rodgers	Bob McGuire	Calaveras Ridge	Calle Oriente	Cardoza (Option A)	Cardoza (Option B)	Cerano	Creighton	Dixon Landing	Foothill	Hall Memorial	Hidden Lake	Hillcrest	John McDermott	Jose Higuera Adobe	McCandless	Milpitas (Dog Park)	Milpitas Sports Center Complex	Murphy	Oliver W. Jones Memorial	O'Toole Elms	Parc Metro East	Parc Metro Central	Parc Metro West	Pecot	Peter Gill Memorial	Pinewood	Robert E. Browne	Sandalwood	Selwyn	Sinnot	Starlight	Strickroth	Sunnyhills Albert Augustine	Tom Evatt		
	Add ADA-accessible table and/or ramps, where necessary		x				x	x			x					x				x		x					x												
	Add or replace fitness stations														x					x								x					x						
	Add or replace signage ⁴			x		x		x			x		x		x				x		x					x					x		x	x	x	x			
	Remove, update, repairing, or replace play area								x					x		x					x		x	x	x	x		x	x			x	x	x	x				
	Install new storm drainage system or repair drainage issues																			x					x											x			
	Add community event space or hangout space							x	x				x			x					x	x			x												x		
	Clear pathways	x																																					
	Update ADA parking																			x																			
Landscape maintenance ⁵	x	x	x		x	x	x	x	x		x	x	x	x	x	x				x	x	x	x	x	x	x	x	x	x	x	x	x	x	x	x	x	x		

⁴ Includes park rules, entry, park hour, wayfinding or accessibility signage.

⁵ Includes reseeding lawn areas, replenishing mulch, and planting drought tolerant plants.

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Table 2.3-1: Existing Parks and Proposed Site Improvements

Parks																																					
Improvements	Alviso Adobe	Augustus Rathbone	Ben Rodgers	Bob McGuire	Calaveras Ridge	Calle Oriente	Cardoza (Option A)	Cardoza (Option B)	Cerano	Creighton	Dixon Landing	Foothill	Hall Memorial	Hidden Lake	Hillcrest	John McDermott	Jose Higuera Adobe	McCandless	Milpitas (Dog Park)	Milpitas Sports Center Complex	Murphy	Oliver W. Jones Memorial	O'Toole Elms	Parc Metro East	Parc Metro Central	Parc Metro West	Pecot	Peter Gill Memorial	Pinewood	Robert E. Browne	Sandalwood	Selwyn	Sinnot	Starlight	Strickroth	Sunnyhills Albert Augustine	Tom Evatt
Add or update field(s) ⁶			x				x	x			x	x																x							x		
Replace surfacing at playgrounds													x																						x		
Add sand volleyball court																		x																			
Resurface rubber safety surfacing																	x																				
Resurface courts ⁷													x																								
Replace barbecues							x	x	x															x													
New nine-inch asphalt path			x																					x													
Repair/repave/replace/adding asphalt path													x	x							x						x										
Add chess/checkers picnic game tables															x																						
Add observation deck													x																								
Add or update picnic area			x				x	x			x	x	x	x	x						x	x		x		x		x		x	x	x	x	x	x	x	

⁶ Includes softball, soccer, and baseball fields.

⁷ Courts could include tennis or handball courts.

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Table 2.3-1: Existing Parks and Proposed Site Improvements

Parks																																						
Improvements	Alviso Adobe	Augustus Rathbone	Ben Rodgers	Bob McGuire	Calaveras Ridge	Calle Oriente	Cardoza (Option A)	Cardoza (Option B)	Cerano	Creighton	Dixon Landing	Foothill	Hall Memorial	Hidden Lake	Hillcrest	John McDermott	Jose Higuera Adobe	McCandless	Milpitas (Dog Park)	Milpitas Sports Center Complex	Murphy	Oliver W. Jones Memorial	O'Toole Elms	Parc Metro East	Parc Metro Central	Parc Metro West	Pecot	Peter Gill Memorial	Pinewood	Robert E. Browne	Sandalwood	Selwyn	Sinnot	Starlight	Strickroth	Sunnyhills Albert Augustine	Tom Evatt	
Add pump track																																						
Remove horseshoe pit(s)																																						
Replace basketball hoops																																						
Add or refurbish restroom(s)	x	x					x	x	x		x	x	x	x	x						x	x		x														
Add public art					x																																	
Add or replace fencing					x								x				x			x											x					x		
Construct overlook area					x																																	
Add nine-inch decomposed granite path					x																																	
Pave decomposed paths with concrete paths							x	x												x																		
Add interactive exhibits														x																								
Replace bleachers																				x																		
Add or replace benches		x		x							x		x	x						x				x	x	x	x	x		x	x	x	x	x	x	x	x	x

CEQA DOCUMENTATION

Table 2.3-1: Existing Parks and Proposed Site Improvements

Parks																																							
Improvements	Alviso Adobe	Augustus Rathbone	Ben Rodgers	Bob McGuire	Calaveras Ridge	Calle Oriente	Cardoza (Option A)	Cardoza (Option B)	Cerano	Creighton	Dixon Landing	Foothill	Hall Memorial	Hidden Lake	Hillcrest	John McDermott	Jose Higuera Adobe	McCandless	Milpitas (Dog Park)	Milpitas Sports Center Complex	Murphy	Oliver W. Jones Memorial	O'Toole Elms	Parc Metro East	Parc Metro Central	Parc Metro West	Pecot	Peter Gill Memorial	Pinewood	Robert E. Browne	Sandalwood	Selwyn	Sinnot	Starlight	Strickroth	Sunnyhills Albert Augustine	Tom Eyatt		
	Replace shade sail fabric				x																																		
	Replace swing set				x																																		
	Add, repair, or update parking lot ⁸				x		x	x			x		x	x								x		x											x	x			
	Remove graffiti								x																					x				x				x	
	Adjust field fence line										x																												
	Replace or repave existing paths with concrete paths											x																		x			x	x	x				
	Add or update concrete paths											x										x			x					x									
	Add distance markers for joggers														x																								
	Add, replace, and/or update pedestrian lighting			x		x						x	x	x								x	x								x	x		x		x	x	x	
	Add bouldering wall																					x																	
	Replace kiosk																						x		x														

⁸ Includes resurfacing and restriping parking lot.

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Table 2.3-1: Existing Parks and Proposed Site Improvements	
Parks	
Improvements	
Replace pedestrian pavers with concrete	<div> <div>Alviso Adobe</div> <div>Augustus Rathbone</div> <div>Ben Rodgers</div> <div>Bob McGuire</div> <div>Calaveras Ridge</div> <div>Calle Oriente</div> <div>Cardoza (Option A)</div> <div>Cardoza (Option B)</div> <div>Cerano</div> <div>Creighton</div> <div>Dixon Landing</div> <div>Foothill</div> <div>Hall Memorial</div> <div>Hidden Lake</div> <div>Hillcrest</div> <div>John McDermott</div> <div>Jose Higuera Adobe</div> <div>McCandless</div> <div>Milpitas (Dog Park)</div> <div>Milpitas Sports Center Complex</div> <div>Murphy</div> <div>Oliver W. Jones Memorial</div> <div>O'Toole Elms</div> <div>Parc Metro East</div> <div>Parc Metro Central</div> <div>Parc Metro West</div> <div>Pecot</div> <div>Peter Gill Memorial</div> <div>Pinewood</div> <div>Robert E. Browne</div> <div>Sandalwood</div> <div>Selwyn</div> <div>Sinnot</div> <div>Starlight</div> <div>Strickroth</div> <div>Sunnyhills Albert Augustine</div> <div>Tom Evatt</div> </div>
	x

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SECTION 4.0 ENVIRONMENTAL SETTING, CHECKLIST, AND IMPACT DISCUSSION

This section presents the discussion of impacts related to the following environmental subjects in their respective subsections:

4.1	Aesthetics	4.12	Mineral Resources
4.2	Agriculture and Forestry Resources	4.13	Noise
4.3	Air Quality	4.14	Population and Housing
4.4	Biological Resources	4.15	Public Services
4.5	Cultural Resources	4.16	Recreation
4.6	Energy	4.17	Transportation
4.7	Geology and Soils	4.18	Tribal Cultural Resources
4.8	Greenhouse Gas Emissions	4.19	Utilities and Service Systems
4.9	Hazards and Hazardous Materials	4.20	Wildfire
4.10	Hydrology and Water Quality	4.21	Mandatory Findings of Significance
4.11	Land Use and Planning		

The discussion for each environmental subject includes the following subsections:

- **Environmental Setting** – This subsection 1) provides a brief overview of relevant plans, policies, and regulations that compose the regulatory framework for the project and 2) describes the existing, physical environmental conditions at the project site and in the surrounding area, as relevant.
- **Impact Discussion** – This subsection 1) includes the recommended checklist questions from Appendix G of the CEQA Guidelines to assess impacts and 2) discusses the project’s impact on the environmental subject as related to the checklist questions. For significant impacts, feasible mitigation measures are identified. “Mitigation measures” are measures that will minimize, avoid, or eliminate a significant impact (CEQA Guidelines Section 15370). Each impact is numbered to correspond to the checklist question being answered. For example, Impact BIO-1 answers the first checklist question in the Biological Resources section.

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4.1 AESTHETICS

4.1.1 Environmental Setting

4.1.1.1 *Regulatory Framework*

State

Streets and Highway Code Sections 260 through 263

The California Scenic Highway Program (Streets and Highway Code, Sections 260 through 263) is managed by the California Department of Transportation (Caltrans). The program is intended to protect and enhance the natural scenic beauty of California highways and adjacent corridors through special conservation treatment. There are no state-designated scenic highways in Milpitas.

Local

Milpitas General Plan

Hillsides, ridges, visually significant vegetation, and other elements are crucial in shaping the City's scenic identity. Additionally, major entryways to the City including southbound Interstate 880 (I-880) at Dixon Landing Road. The following policies in the City's General Plan have been adopted for the purpose of reducing or avoiding impacts related to aesthetics and are applicable to the Master Plan Update.

General Plan Policies - Aesthetics	
CD 3-1	Strengthen the positive qualities of the City's neighborhoods, districts, and centers.
CD 3-2	Support the development and preservation of unique neighborhoods, districts, and centers that exhibit a special sense of place and quality of design
CD 3-3	Ensure that new development and redevelopment reinforces desirable elements of its neighborhood, district, or center, including architectural style, scale, and setback patterns.
CD 3-4	Strengthen the identity of individual neighborhoods, districts, and centers through the use of entry monuments, flags, street signs, themed streets, natural features, landscaping, and lighting.

4.1.1.2 *Existing Conditions*

Scenic Views

The City of Milpitas is located between Mission Hills to the east and baylands to the west. Mission Hills and Monument Peak form a distinctive scenic backdrop to the City and are important to community identity and character. Mount Diablo, located outside the Milpitas planning area⁹, is also considered as a prominent landmark.

⁹ The planning area is defined as the entire area within the sphere of influence (SOI) which includes City limits and the urban growth boundary.

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The foothills and the Coyote Creek corridor provide the City of Milpitas with a scenic backdrop and visual reference points. Per the City of Milpitas General Plan, scenic resources include hillsides, ridges, visually significant vegetation, and other elements that are critical in shaping the City's scenic identity. Additionally, major entryways to the City (e.g., southbound I-880 at Dixon Landing Road) are considered important to the City's identity.

Scenic Highways and Corridors

There are no officially designated State Scenic Highways in the vicinity of the City of Milpitas. The nearest officially designated State Scenic Highway is I-680 from Mission Boulevard in Fremont to Bernal Avenue near Pleasanton, located over six miles northeast of the City.¹⁰

Light and Glare

Sources of light and glare are abundant in the urban environment of the City of Milpitas, including but not limited to streetlights, vehicular headlights, internal/external building lights, security lights, and reflective building surfaces and windows. Areas of open space and along creeks typically have lower levels of ambient nighttime lighting and daytime glare.

4.1.2 Impact Discussion

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
Except as provided in Public Resources Code Section 21099, would the project:				
1) Have a substantial adverse effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3) In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? ¹¹ If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

¹⁰ California Department of Transportation. *California State Scenic Highway Systems Map*. Accessed June 11, 2021. <https://caltrans.maps.arcgis.com/apps/webappviewer/index.html?id=465dfd3d807c46cc8e8057116f1aaca>.

¹¹ Public views are those that are experienced from publicly accessible vantage points.

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Impact AES-1: The project would not have a substantial adverse effect on a scenic vista.
(Less than Significant Impact)

The Master Plan Update identifies improvements to the City's existing public parks. The improvements range from maintenance of existing landscaping to the addition of new park amenities such as outdoor community event space, sports fields, and restroom facilities. The Master Plan Update does not identify or recommend construction of new parks within the City. The planned improvements to existing City parks would not substantially change the hillsides, ridges, visually significant vegetation, and other elements that are critical in shaping the City's scenic identity. Therefore, implementation of the planned park improvements recommended in the Master Plan Update would not result in a substantial adverse effect on a scenic vista. **(Less than Significant Impact)**

Impact AES-2: The project would not substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway. **(No Impact)**

The nearest State Scenic Highway, I-680 from Mission Boulevard in Fremont to Bernal Avenue near Pleasanton, is located more than six miles northeast of the City. The proposed park improvements would not damage any scenic resources, such as trees, rock outcroppings, and historic buildings within a State Scenic Highway. **(No Impact)**

Impact AES-3: The project would not substantially degrade the existing visual character or quality of public views of the site and its surroundings. The project would not conflict with applicable zoning and other regulations governing scenic quality.
(Less than Significant Impact)

The planned improvements to existing City parks (e.g., replacement of play areas and picnic areas, adding community event space and refurbishing existing restroom buildings, etc.) recommended in the Master Plan Update would enhance the existing visual character and public views of each park. Future implementation of the planned improvements would be required to comply with the City's General Plan and Design Guidelines and the policies, guidelines, and actions recommended in the Master Plan Update. As a result, implementation of the planned park improvements recommended in the Master Plan Update would not substantially degrade the existing visual character or quality of the City. **(Less than Significant Impact)**

Impact AES-4: The project would not create a new source of substantial light or glare which would adversely affect day or nighttime views in the area. **(Less than Significant Impact)**

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The planned improvements to existing City parks recommended in the Master Plan Update with the potential to increase light and glare include adding field lighting and adding and/or replacing pedestrian lighting. Each of the individual park projects would go through a design review process and would be reviewed for compliance with the City's Design Guidelines and Plan Review Checklist and other applicable codes, policies, and regulations. As recommended in the Master Plan Update, light levels and the direction of lighting should maximize safety yet minimize light pollution in the surrounding neighborhood. For these reasons, implementation of the planned park improvements recommended in the Master Plan Update would not create substantial light or glare that would adversely affect day or nighttime views in the area. **(Less than Significant Impact)**

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4.2 AGRICULTURE AND FORESTRY RESOURCES

4.2.1 Environmental Setting

4.2.1.1 *Regulatory Framework*

State

Farmland Mapping and Monitoring Program

The California Department of Conservation's Farmland Mapping and Monitoring Program (FMMP) assesses the location, quality, and quantity of agricultural land and conversion of these lands over time. Agricultural land is rated according to soil quality and irrigation status. The best quality land is called Prime Farmland.

California Land Conservation Act

The California Land Conservation Act (Williamson Act) enables local governments to enter into contracts with private landowners to restrict parcels of land to agricultural or related open space uses. In return, landowners receive lower property tax assessments.

Fire and Resource Assessment Program

The California Department of Forestry and Fire Protection (CAL FIRE) identifies forest land, timberland, and lands zoned for timberland production that can (or do) support forestry resources.¹²

4.2.1.2 *Existing Conditions*

Per the City's General Plan, there are no areas in the City designated for agricultural use nor are there any agricultural lands identified by the California Department of Conservation's Farmland Mapping and Monitoring Program within the City. The City's existing public parks do not support agricultural uses or forest land.

¹² Forest Land is land that can support 10 percent native tree cover and allows for management of forest resources (California Public Resources Code Section 12220(g)); Timberland is land not owned by the federal government or designated as experimental forest land that is available for, and capable of, growing trees to produce lumber and other products, including Christmas trees (California Public Resources Code Section 4526); and Timberland Production is land used for growing and harvesting timber and compatible uses (Government Code Section 51104(g)).

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4.2.2 Impact Discussion

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
Would the project:				
1) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2) Conflict with existing zoning for agricultural use, or a Williamson Act contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code Section 12220(g)), timberland (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code Section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4) Result in a loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Note: In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment Project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board.

Impact AG-1: The project would not convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use. **(No Impact)**

There are no agricultural lands within the City of Milpitas. All lands within the Milpitas city limits are identified as Urban and Built-up Land by the California Department of Conservation.¹³ The Master Plan Update identifies improvements to the City's existing public parks, which are currently

¹³ City of Milpitas. *Milpitas General Plan Final Environmental Impact Report*. November 2, 2020. Page 3.2-2.

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developed with park uses. For these reasons, implementation of the planned park improvements recommended in the Master Plan Update would not convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance to non-agricultural use. **(No Impact)**

Impact AG-2: The project would not conflict with existing zoning for agricultural use, or a Williamson Act contract. **(No Impact)**

The Master Plan Update identifies improvements to the City's existing public parks. The existing public parks are not under Williamson Act contract or zoned for agricultural use. For these reasons, implementation of the planned park improvements recommended in the Master Plan Update would not conflict with existing zoning for agricultural use or a Williamson Act contract. **(No Impact)**

Impact AG-3: The project would not conflict with existing zoning for, or cause rezoning of, forest land, timberland, or timberland zoned Timberland Production. **(No Impact)**

There are no forest lands or timberlands located in the City of Milpitas.¹⁴ The Master Plan Update identifies improvements to the City's existing public parks. The existing public parks are not zoned and do not support forest land or timberland. For these reasons, implementation of the planned park improvements recommended in the Master Plan Update would not conflict with existing zoning or cause rezoning of forest land or timberland, or timberland zoned for timberland production. **(No Impact)**

Impact AG-4: The project would not result in a loss of forest land or conversion of forest land to non-forest use. **(No Impact)**

There are no forest lands or timberlands located in the City of Milpitas.¹⁵ The Master Plan Update identifies improvements to the City's existing public parks. The existing public parks do not support forestland. For these reasons, implementation of the planned park improvements recommended in the Master Plan Update would not result in a loss of forest land or conversion of forest land to non-forest use. **(No Impact)**

Impact AG-5: The project would not involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use. **(No Impact)**

There are no forest lands or farmland within the City. The Master Plan Update identifies improvements to the City's existing public parks. The existing public parks do not support forestland or farmland. For these reasons, implementation of the planned park improvements recommended in the Master Plan Update would not result would not result in impacts to agricultural or forest resources. **(No Impact)**

¹⁴ City of Milpitas. *Milpitas General Plan Final Environmental Impact Report*. November 2, 2020. Page 3.2-2.

¹⁵ Ibid.

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4.3 AIR QUALITY

4.3.1 Environmental Setting4.3.1.1 *Background Information***Criteria Pollutants**

Air quality in the Bay Area is assessed related to six common air pollutants (referred to as criteria pollutants), including ground-level ozone (O₃), nitrogen oxides (NO_x), particulate matter (PM), carbon monoxide (CO), sulfur oxides (SO_x), and lead.¹⁶ Criteria pollutants are regulated because they result in health effects. An overview of the sources of criteria pollutants and their associated health are summarized in Table 4.3-1. The most commonly regulated criteria pollutants in the Bay Area are discussed further below.

Table 4.3-1: Health Effects of Air Pollutants

Pollutants	Sources	Primary Effects
O ₃	Atmospheric reaction of organic gases with nitrogen oxides in sunlight	<ul style="list-style-type: none"> • Aggravation of respiratory and cardiovascular diseases • Irritation of eyes • Cardiopulmonary function impairment
Nitrogen Dioxide (NO ₂)	Motor vehicle exhaust, high temperature stationary combustion, atmospheric reactions	<ul style="list-style-type: none"> • Aggravation of respiratory illness • Reduced visibility
Fine Particulate Matter (PM _{2.5}) and Coarse Particulate Matter (PM ₁₀)	Stationary combustion of solid fuels, construction activities, industrial processes, atmospheric chemical reactions	<ul style="list-style-type: none"> • Reduced lung function, especially in children • Aggravation of respiratory and cardiorespiratory diseases • Increased cough and chest discomfort • Reduced visibility
Toxic Air Contaminants (TACs)	Cars and trucks, especially diesel-fueled; industrial sources, such as chrome platers; dry cleaners and service stations; building materials and products	<ul style="list-style-type: none"> • Cancer • Chronic eye, lung, or skin irritation • Neurological and reproductive disorders

High O₃ levels are caused by the cumulative emissions of reactive organic gases (ROG) and NO_x. These precursor pollutants react under certain meteorological conditions to form high O₃ levels. Controlling the emissions of these precursor pollutants is the focus of the Bay Area's attempts to reduce O₃ levels. The highest O₃ levels in the Bay Area occur in the eastern and southern inland valleys that are downwind of air pollutant sources.

¹⁶ The area has attained both state and federal ambient air quality standards for CO. The project does not include substantial new emissions of sulfur dioxide or lead. These criteria pollutants are not discussed further.

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PM is a problematic air pollutant of the Bay Area. PM is assessed and measured in terms of respirable particulate matter or particles that have a diameter of 10 micrometers or less (PM₁₀) and fine particulate matter where particles have a diameter of 2.5 micrometers or less (PM_{2.5}). Elevated concentrations of PM₁₀ and PM_{2.5} are the result of both region-wide emissions and localized emissions.

Toxic Air Contaminants

Toxic Air Contaminants (TACs) are a broad class of compounds known to have health effects. They include but are not limited to criteria pollutants. TACs are found in ambient air, especially in urban areas, and are caused by industry, agriculture, diesel fuel combustion, and commercial operations (e.g., dry cleaners). TACs are typically found in low concentrations, even near their source (e.g., diesel particulate matter [DPM] near a freeway).

Diesel exhaust is the predominant TAC in urban air and is estimated to represent about three-quarters of the cancer risk from TACs. Diesel exhaust is a complex mixture of gases, vapors, and fine particles. Medium- and heavy-duty diesel trucks represent the bulk of DPM emissions from California highways. The majority of DPM is small enough to be inhaled into the lungs. Most inhaled particles are subsequently exhaled, but some deposit on the lung surface or are deposited in the deepest regions of the lungs (most susceptible to injury).¹⁷ Chemicals in diesel exhaust, such as benzene and formaldehyde, have been previously identified as TACs by the California Air Resources Board (CARB).

Sensitive Receptors

Some groups of people are more affected by air pollution than others. CARB has identified the following persons who are most likely to be affected by air pollution: children under 16, the elderly over 65, and people with cardiovascular and chronic respiratory diseases. These groups are classified as sensitive receptors. Locations that may contain a high concentration of these sensitive population groups include residential areas, hospitals, daycare facilities, elder care facilities, and elementary schools.

4.3.1.2 Regulatory Framework

Federal and State

Clean Air Act

At the federal level, the United States Environmental Protection Agency (EPA) is responsible for overseeing implementation of the Clean Air Act and its subsequent amendments. The federal Clean Air Act requires the EPA to set national ambient air quality standards for the six common criteria pollutants (discussed previously), including PM, O₃, CO, SO_x, NO_x, and lead.

CARB is the state agency that regulates mobile sources throughout the state and oversees implementation of the state air quality laws and regulations, including the California Clean Air Act. The EPA and the CARB have adopted ambient air quality standards establishing permissible levels

¹⁷ California Air Resources Board. "Overview: Diesel Exhaust and Health." Accessed May 27, 2021. <https://www.arb.ca.gov/research/diesel/diesel-health.htm>.

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of these pollutants to protect public health and the climate. Violations of ambient air quality standards are based on air pollutant monitoring data and are determined for each air pollutant. Attainment status for a pollutant means that a given air district meets the standard set by the EPA and/or CARB.

Risk Reduction Plan

To address the issue of diesel emissions in the state, CARB developed the Risk Reduction Plan to Reduce Particulate Matter Emissions from Diesel-Fueled Engines and Vehicles. In addition to requiring more stringent emission standards for new on-road and off-road mobile sources and stationary diesel-fueled engines to reduce particulate matter emissions by 90 percent, the plan involves application of emission control strategies to existing diesel vehicles and equipment to reduce DPM (in addition to other pollutants). Implementation of this plan, in conjunction with stringent federal and CARB-adopted emission limits for diesel fueled vehicles and equipment (including off-road equipment), will significantly reduce emissions of DPM and NO_x.

Regional

2017 Clean Air Plan

The Bay Area Air Quality Management District (BAAQMD) is the agency primarily responsible for assuring that the federal and state ambient air quality standards are maintained in the San Francisco Bay Area. Regional air quality management districts, such as BAAQMD, must prepare air quality plans specifying how state and federal air quality standards will be met. BAAQMD's most recently adopted plan is the Bay Area 2017 Clean Air Plan (2017 CAP). The 2017 CAP focuses on two related BAAQMD goals: protecting public health and protecting the climate. To protect public health, the 2017 CAP describes how BAAQMD will continue its progress toward attaining state and federal air quality standards and eliminating health risk disparities from exposure to air pollution among Bay Area communities. To protect the climate, the 2017 CAP includes control measures designed to reduce emissions of methane and other super-greenhouse gases (GHGs) that are potent climate pollutants in the near-term, and to decrease emissions of carbon dioxide by reducing fossil fuel combustion.¹⁸

CEQA Air Quality Guidelines

The BAAQMD CEQA Air Quality Guidelines are intended to serve as a guide for those who prepare or evaluate air quality impact analyses for projects and plans in the San Francisco Bay Area. Jurisdictions in the San Francisco Bay Area Air Basin utilize the thresholds and methodology for assessing air quality impacts developed by BAAQMD within their CEQA Air Quality Guidelines. The guidelines include information on legal requirements, BAAQMD rules, methods of analyzing impacts, and recommended mitigation measures.

¹⁸ Bay Area Air Quality Management District. *Final 2017 Clean Air Plan*. April 19, 2017. Accessed May 27, 2021. <http://www.baaqmd.gov/plans-and-climate/air-quality-plans/current-plans>.

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Local

Milpitas General Plan

The following policies in the City's General Plan have been adopted for the purpose of reducing or avoiding impacts related to air quality and are applicable to the Master Plan Update.

General Plan Policies - Air Quality	
CON 7-4	Require projects to adhere to the requirements of the Bay Area Air Quality Management District (BAAQMD).
CON 7-5	Use the City's development review process and the California Environmental Quality Act (CEQA) to evaluate and mitigate the local and cumulative effects of new development on air quality.
CON 7-7	Comply with regional, state, and federal standards and programs for control of all airborne pollutants and noxious odors, regardless of source.
CON 7-8	Consider the health risks associated with Toxic Air Contaminants (TACs) when reviewing development applications.

4.3.1.3 *Existing Conditions*

Air quality is determined by the concentration of various pollutants in the atmosphere. The amount of a given pollutant in the atmosphere is determined by the amount of pollutants released within an area, transport of pollutants to and from surrounding areas, local and regional meteorological conditions, and the surrounding topography of the air basin.

BAAQMD is responsible for assuring that the national and state ambient air quality standards are attained and maintained in the Bay Area. Air quality studies generally focus on four criteria pollutants that are most commonly measured and regulated: CO, O₃, NO₂, and PM₁₀ and PM_{2.5}.¹⁹ These pollutants are considered criteria pollutants by the U.S. Environmental Protection Agency (U.S. EPA) and CARB as they can result in health effects such as respiratory impairment and heart/lung disease symptoms. Table 4.3-2 shows violations of state and federal standards at the monitoring station in downtown San José (the nearest monitoring station to the City) during the 2017-2019 period (the most recent years for which data is available).

Table 4.3-2: Ambient Air Quality Standards Violations and Highest Concentrations				
Pollutant	Standard	Days Exceeding Standard		
		2017	2018	2019
SAN JOSÉ STATION				
Ozone	State 1-hour	3	0	1
	Federal 8-hour	4	0	2
Carbon Monoxide	Federal 8-hour	0	0	0
	State 8-hour	0	0	0

¹⁹ PM refers to Particulate Matter. Particulate matter is referred to by size (i.e., 10 or 2.5) because the size of particles is directly linked to their potential for causing health problems.

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Table 4.3-2: Ambient Air Quality Standards Violations and Highest Concentrations				
Pollutant	Standard	Days Exceeding Standard		
		2017	2018	2019
Nitrogen Dioxide	State 1-hour	0	0	0
PM ₁₀	Federal 24-hour	0	0	0
	State 24-hour	6	4	4
PM _{2.5}	Federal 24-hour	6	15	0
Source: Bay Area Air Quality Management District. "Annual Bay Area Air Quality Summaries." Accessed May 27, 2021. http://www.baaqmd.gov/about-air-quality/air-quality-summaries .				

"Attainment" status for a pollutant means that a given air district meets the standard set by the EPA and/or CARB. The Bay Area, as a whole, does not meet state or federal ambient air quality standards for ground level O₃ and PM_{2.5}, nor does it meet state standards for PM₁₀. The Bay Area is considered in attainment or unclassified for all other pollutants.

4.3.2 Impact Discussion

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
Would the project:				
1) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3) Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4) Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Note: Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the determinations.

Impact AIR-1: The project would not conflict with or obstruct implementation of the applicable air quality plan. **(Less than Significant Impact)**

BAAQMD is responsible for assuring that the federal and state ambient air quality standards are maintained in the San Francisco Bay Area. BAAQMD's most recently adopted plan is the 2017 CAP. The Master Plan Update recommends improvements to existing City parks. In accordance with General Plan Policies CON 7-4, 7-5, 7-7, and 7-8, all future park improvement projects under the Master Plan Update would be required to adhere to BAAQMD requirements, mitigate local and cumulative air quality impacts, comply with regional, state, and federal standards and programs for control of all airborne pollutants, and consider TAC health risks. Therefore, implementation of the

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Master Plan Update would not conflict with or obstruct implementation the 2017 CAP. **(Less Than Significant Impact)**

Impact AIR-2: The project would not result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard. **(Less than Significant Impact)**

The General Plan Land Use, Community Design, and Conservation Elements contain policies and actions to reduce criteria pollutant emissions, odors, health risks, and other emissions. Per the BAAQMD CEQA Air Quality Guidelines, air pollution by its nature is largely a cumulative impact. No single project is sufficient in size to, by itself, result in nonattainment of ambient air quality standards. If a project exceeds the identified significance thresholds, its emissions would be cumulatively considerable, resulting in significant adverse air quality impacts to the region's existing air quality conditions. The Master Plan Update recommends improvements to existing City parks. In accordance with General Plan Policies CON 7-4, 7-5, 7-7, and 7-8, all future park improvement projects under the Master Plan Update would be required to adhere to BAAQMD requirements, mitigate local and cumulative air quality impacts, and comply with regional, state, and federal standards and programs for control of all airborne pollutants. Therefore, implementation of the Master Plan Update would not result in a cumulatively considerable net increase of any criteria pollutant for which the region is in non-attainment. **(Less than Significant Impact)**

Impact AIR-3: The project would not expose sensitive receptors to substantial pollutant concentrations. **(Less than Significant Impact)**

The Master Plan Update identifies improvements to the City's existing public parks, most of which are located adjacent to sensitive receptors (e.g., residences and schools). Construction activities associated with future implementation of the Master Plan Update could expose sensitive receptors to temporary dust and TAC emissions due to ground disturbance and operation of diesel construction equipment. At the time of implementation, each individual park project would be required to comply with the applicable General Plan policies and programs as well as applicable BAAQMD rules and regulations to control dust and minimize sensitive receptor exposure to TAC and PM_{2.5} concentrations. **(Less than Significant Impact)**

Impact AIR-4: The project would not result in other emissions (such as those leading to odors) adversely affecting a substantial number of people. **(Less than Significant Impact)**

Construction activities associated with future implementation of the Master Plan Update could generate localized emissions of diesel exhaust. While the odor of the emissions may be noticeable from time to time by adjacent receptors, the odor would be localized and temporary and is not likely to affect a substantial number of people. **(Less than Significant Impact)**

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4.4 BIOLOGICAL RESOURCES

4.4.1 Environmental Setting

4.4.1.1 *Regulatory Framework*

Federal and State

Endangered Species Act

Individual plant and animal species listed as rare, threatened, or endangered under state and federal Endangered Species Acts are considered special-status species. Federal and state endangered species legislation has provided the United States Fish and Wildlife Service (USFWS) and the California Department of Fish and Wildlife (CDFW) with a mechanism for conserving and protecting plant and animal species of limited distribution and/or low or declining populations. Permits may be required from both the USFWS and CDFW if activities associated with a proposed project would result in the take of a species listed as threatened or endangered. To “take” a listed species, as defined by the State of California, is “to hunt, pursue, catch, capture, or kill, or attempt to hunt, pursue, catch, capture, or kill” these species. Take is more broadly defined by the federal Endangered Species Act to include harm of a listed species.

In addition to species listed under state and federal Endangered Species Acts, Sections 15380(b) and (c) of the CEQA Guidelines provide that all potential rare or sensitive species, or habitats capable of supporting rare species, must be considered as part of the environmental review process. These may include plant species listed by the California Native Plant Society and CDFW-listed Species of Special Concern.

Migratory Bird Treaty Act

The federal Migratory Bird Treaty Act (MBTA) prohibits killing, capture, possession, or trade of migratory birds except in accordance with regulations prescribed by the Secretary of the Interior. Hunting and poaching are also prohibited. The taking and killing of birds resulting from an activity is not prohibited by the MBTA when the underlying purpose of that activity is not to take birds.²⁰ Nesting birds are considered special-status species and are protected by the USFWS. The CDFW also protects migratory and nesting birds under California Fish and Game Code Sections 3503, 3503.5, and 3800. The CDFW defines taking as causing abandonment and/or loss of reproductive efforts through disturbance.

Sensitive Habitat Regulations

Wetland and riparian habitats are considered sensitive habitats under CEQA. They are also afforded protection under applicable federal, state, and local regulations, and are generally subject to regulation by the United States Army Corps of Engineers (USACE), Regional Water Quality Control Board (RWQCB), CDFW, and/or the USFWS under provisions of the federal Clean Water Act (e.g., Sections 303, 304, 404) and State of California Porter-Cologne Water Quality Control Act.

²⁰ United States Department of the Interior. “Memorandum M-37050. The Migratory Bird Treaty Act Does Not Prohibit Incidental Take.” Accessed May 27, 2021. <https://www.doi.gov/sites/doi.gov/files/uploads/m-37050.pdf>.

CEQA DOCUMENTATION

Fish and Game Code Section 1602

Streambeds and banks, as well as associated riparian habitat, are regulated by the CDFW per Section 1602 of the Fish and Game Code. Work within the bed or banks of a stream or the adjacent riparian habitat requires a Streambed Alteration Agreement from the CDFW.

Regional

Santa Clara Valley Habitat Plan/Natural Community Conservation Plan

The Santa Clara Valley Habitat Plan/Natural Community Conservation Plan (Habitat Plan) covers approximately 520,000 acres, or approximately 62 percent of Santa Clara County. It was developed and adopted through a partnership between Santa Clara County, the Cities of San José, Morgan Hill, and Gilroy, Santa Clara Valley Water District (Valley Water), Santa Clara Valley Transportation Authority (VTA), USFWS, and CDFW. The Habitat Plan is intended to promote the recovery of endangered species and enhance ecological diversity and function, while accommodating planned growth in southern Santa Clara County. The Santa Clara Valley Habitat Agency is responsible for implementing the plan.

Local

Tree Removal Ordinance

The Tree Maintenance and Protection Ordinance of the City of Milpitas (Milpitas Municipal Code, Chapter 2) serve to preserve all trees and plantings on City property, when feasible, and all protected plantings of significant size, age, and/or benefit to the community at large. Protected trees include:

- All trees which have a 56-inch or greater circumference of any trunk measured 4.5 feet from the ground and located on developed residential property; or
- All trees which have a 37-inch or greater circumference of any trunk measured 4.5 feet from the ground and located on developed commercial or industrial property; or
- All trees which have a 37-inch or greater circumference of any trunk measured 4.5 feet from the ground, when removal relates to any transaction for which zoning approval or subdivision approval is required; or
- Any tree existing at the time of a zoning or subdivision approval and was a specific subject of such approval or otherwise covered by subsection (b) above; or
- All trees which have a 37-inch or greater circumference of any trunk measured 4.5 feet from the ground and located on a vacant, undeveloped, or underdeveloped property; or
- All heritage trees or groves of trees as defined in Section X-2-2.10 of the City's Municipal Code.

A tree removal permit is required from the City of Milpitas for the removal of any street tree, protected tree, or heritage planting.

Milpitas General Plan

The following policies in the City's General Plan have been adopted for the purpose of reducing or avoiding impacts related to biological resources and are applicable to the Master Plan Update.

CEQA DOCUMENTATION

General Plan Policies – Biological Resources	
CON 2-1	Conserve existing native trees and vegetation where possible and integrate regionally native trees and plant species into development and infrastructure projects where appropriate.
CON 2-3	Avoid removal of large, mature trees that provide wildlife habitat, visual screening, or contribute to the visual quality of the environment through appropriate project design and building siting. If full avoidance is not possible, prioritize planting of replacement trees on-site over off-site locations. Replacement trees for high-quality mature trees should generally be of like kind, and provide for comparable habitat functionality, where appropriate site conditions exist.

4.4.1.2 Existing Conditions

Wildlife Habitat Classification

According to the California Wildlife Habitat Relationship System, there are 14 wildlife habitat classifications cover types within the City of Milpitas. These include: AGS - Annual Grassland, BOW - Blue Oak Woodland, COW - Coastal Oak Woodland, VOW - Valley Oak Woodland, CSC - Coastal Scrub, CRP - Cropland, IGR - Irrigated Grain Crops, DGR - Dryland Grain Crops, VIN - Vineyard, FEW - Fresh Emergent Wetland, LAC - Lacustrine, MHW - Montane Hardwood, VRI - Valley Foothill Riparian, and URB - Urban (refer to page 3.4-3 of the City's General Plan for more information).²¹

Special-Status Plant Species

Refer to Figure 4.4-1 for a map of special-status species that have been identified as being present or potentially present within one-mile of the City.

Special-Status Animal Species

A total of 55 special-status animal species (e.g., five amphibians, 23 birds, two fish, 10 invertebrates, 11 mammals, and four reptiles) were identified within the City. Refer to Figure 4.4-1 for a map of special-status species that have been identified as being present or potentially present within one-mile of the City.

Sensitive Natural Communities

There are no sensitive natural communities located within the City of Milpitas. The nearest sensitive natural community is the Northern Coastal Salt Marsh habitat located one mile northwest of the City.²²

²¹ City of Milpitas. *Milpitas General Plan Final Environmental Impact Report*. November 2, 2020. Page 3.4-3.

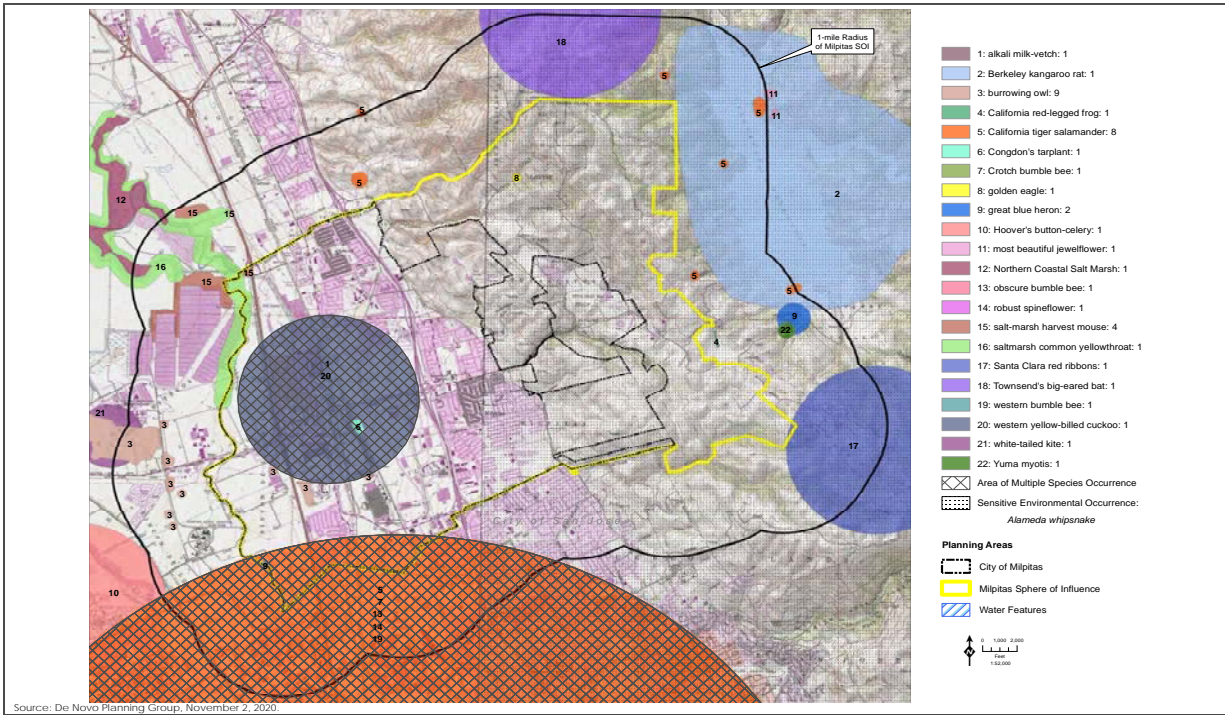
²² City of Milpitas. *Milpitas General Plan Final Environmental Impact Report*. November 2, 2020. Page 3.4-19.

CEQA DOCUMENTATION

Milpitas Parks and Recreation Master Plan Update
City of Milpitas

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Initial Study
September 2021



SPECIAL-STATUS SPECIES WITHIN 1-MILE OF MIPITAS

FIGURE 4.4-1

CEQA DOCUMENTATION

4.4.2 Impact Discussion

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
Would the project:				
1) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife (CDFW) or United States Fish and Wildlife Service (USFWS)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the CDFW or USFWS?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3) Have a substantial adverse effect on state or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Impact BIO-1: The project would not have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the CDFW or USFWS. **(Less than Significant Impact)**

The Master Plan Update identifies improvements to the City's existing public parks within existing developed areas where no special-status plant or animal species are expected to be present. Existing hazardous trees within the parks would be removed as part of future planned improvements could provide nesting and/or foraging habitat for migratory birds including raptors. Migratory birds, like nesting raptors, are protected under the MBTA and CDFW Code Sections 3503, 3503.5, and 3800.

CEQA DOCUMENTATION

The CDFW defines “taking” as causing abandonment and/or loss of reproductive efforts through disturbance. Any loss of fertile eggs, nesting raptors, or any activities resulting in nest abandonment would constitute a significant impact. All recommended park improvements would be required to conform to applicable General Plan policies and federal, state, and local regulations to avoid impacts to migratory birds. Therefore, construction of the recommended park improvements would have a less than significant impact to nesting birds and raptors. **(Less than Significant Impact)**

Impact BIO-2: The project would not have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the CDFW or USFWS. **(Less than Significant Impact)**

The nearest sensitive natural community is the Northern Coastal Salt Marsh habitat, which is located one mile northwest of the City and, as a result, the recommended improvements to existing parks would not result in a substantial adverse effect on any sensitive natural community.

While not documented as a sensitive natural community, streams, rivers, wet meadows, and vernal pools are of high concern as they provide unique aquatic habitat for many special-status plants, birds, invertebrates, and amphibians. The City of Milpitas contains numerous aquatic habitats that qualify as sensitive habitat including: Arroyo de los Coches Creek, Berryessa Creek, Coyote Creek; Calera Creek; Ford Creek; Lower Penitencia Creek; Piedmont Creek; Wrigley Creek; Wrigley-Ford Creek; and Tularcitos Creek. The Master Plan Update identifies improvements to the City’s existing public parks within existing developed areas and, as a result, would not impact sensitive habitats. Nevertheless, all individual park projects would be required to implement all applicable General Plan policies and comply with applicable federal, state, and local regulations to avoid impacts to sensitive habitats. As a result, implementation of the proposed project would result in a less than significant impact. **(Less than Significant Impact)**

Impact BIO-3: The project would not have a substantial adverse effect on state or federally protected wetlands through direct removal, filling, hydrological interruption, or other means. **(Less than Significant Impact)**

Based on the City’s General Plan, there are wetlands located northwest of the planning area adjacent to Coyote Creek and north of Penitencia Creek adjacent to Interstate 880 (I-880). The Master Plan Update identifies improvements to the City’s existing public parks within existing developed areas and, as a result, would not impact wetlands. Furthermore, all individual park projects would be required to implement applicable General Plan policies and comply with applicable federal, state, and local regulations to avoid or minimize impacts to protected wetlands. As a result, the proposed project would not have a substantial adverse effect on wetland habitat. **(Less than Significant Impact)**

CEQA DOCUMENTATION

Impact BIO-4: The project would not interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors or impede the use of native wildlife nursery sites. **(Less than Significant Impact)**

The planned improvements to existing parks identified in the Master Plan Update would not substantially modify the existing parks or increase use compared to existing conditions and, therefore, would not interfere substantially with wildlife movement of any native resident or migratory fish or wildlife species. All future park improvements completed under the Master Plan Update would be subject to site-specific review and, as a result, implementation of the planned improvements to existing parks would result in a less than significant impact on wildlife corridors. **(Less than Significant Impact)**

Impact BIO-5: The project would not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance. **(Less than Significant Impact)**

Based on Chapter 2 of the City's Municipal Code, a tree removal permit is required from the City for removal of any street tree, protected tree, or heritage planting on private property. Any trees removed as part of the planned improvements to the Master Plan Update would be required to comply with the City's General Plan policies, as well as the Municipal Code. Therefore, implementation of the planned improvements to existing parks recommended in the Master Plan Update would result in a less than significant impact on the City's tree preservation policy or ordinance. **(Less than Significant Impact)**

Impact BIO-6: The project would not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan. **(Less than Significant Impact)**

While the City is not located within the Santa Clara Valley Habitat Plan (Habitat Plan) area, the land within the City's sphere of influence (SOI) is within the Habitat Plan permit area and within the expanded study/permit area for Burrowing Owl Conservation. Consistent with the City's General Plan, all applicable park projects would be required to comply with the HCP. Specifically, General Plan Action CON 3a requires new development, long-range planning projects, and other projects to comply with the requirements of the Habitat Plan to ensure that potentially significant impacts to special-status species and sensitive resources are adequately addressed. Therefore, implementation of the planned improvements to existing parks recommended in the Master Plan Update would not conflict with the provisions of the Habitat Plan or National Community Conservation Plan. **(Less than Significant Impact)**

CEQA DOCUMENTATION

4.5 CULTURAL RESOURCES

4.5.1 Environmental Setting

4.5.1.1 *Regulatory Framework*

Federal and State

National Historic Preservation Act

Federal protection is legislated by the National Historic Preservation Act of 1966 (NHPA) and the Archaeological Resource Protection Act of 1979. These laws maintain processes for determination of the effects on historical properties eligible for listing in the National Register of Historic Places (NRHP). Section 106 of the NHPA and related regulations (36 Code of Federal Regulations [CFR] Part 800) constitute the primary federal regulatory framework guiding cultural resources investigations and require consideration of effects on properties that are listed or eligible for listing in the NRHP. Impacts to properties listed in the NRHP must be evaluated under CEQA.

California Register of Historical Resources

The California Register of Historical Resources (CRHR) is administered by the State Office of Historic Preservation and encourages protection of resources of architectural, historical, archeological, and cultural significance. The CRHR identifies historic resources for state and local planning purposes and affords protections under CEQA. Under Public Resources Code Section 5024.1(c), a resource may be eligible for listing in the CRHR if it meets any of the NRHP criteria.

Historical resources eligible for listing in the CRHR must meet the significance criteria described previously and retain enough of their historic character or appearance to be recognizable as historical resources and to convey the reasons for their significance. A resource that has lost its historic character or appearance may still have sufficient integrity for the CRHR if it maintains the potential to yield significant scientific or historical information or specific data.

The concept of integrity is essential to identifying the important physical characteristics of historical resources and, therefore, in evaluating adverse changes to them. Integrity is defined as “the authenticity of a historical resource’s physical identity evidenced by the survival of characteristics that existed during the resource’s period of significance.” The processes of determining integrity are similar for both the CRHR and NRHP and use the same seven variables or aspects to define integrity that are used to evaluate a resource’s eligibility for listing. These seven characteristics include 1) location, 2) design, 3) setting, 4) materials, 5) workmanship, 6) feeling, and 7) association.

California Native American Historical, Cultural, and Sacred Sites Act

The California Native American Historical, Cultural, and Sacred Sites Act applies to both state and private lands. The act requires that upon discovery of human remains, construction or excavation activity must cease and the county coroner be notified.

CEQA DOCUMENTATION

Public Resources Code Sections 5097 and 5097.98

Section 15064.5 of the CEQA Guidelines specifies procedures to be used in the event of an unexpected discovery of Native American human remains on non-federal land. These procedures are outlined in Public Resources Code Sections 5097 and 5097.98. These codes protect such remains from disturbance, vandalism, and inadvertent destruction, establish procedures to be implemented if Native American skeletal remains are discovered during construction of a project, and establish the Native American Heritage Commission (NAHC) as the authority to resolve disputes regarding disposition of such remains.

Pursuant to Public Resources Code Section 5097.98, in the event of human remains discovery, no further disturbance is allowed until the county coroner has made the necessary findings regarding the origin and disposition of the remains. If the remains are of a Native American, the county coroner must notify the NAHC. The NAHC then notifies those persons most likely to be related to the Native American remains. The code section also stipulates the procedures that the descendants may follow for treating or disposing of the remains and associated grave goods.

Local

Milpitas General Plan

The following policies in the City's General Plan have been adopted for the purpose of reducing or avoiding impacts related to cultural resources and are applicable to the Master Plan Update.

General Plan Policies – Cultural Resources	
CON 4-1	Review proposed developments and work in conjunction with the California Historical Resources Information System, Northwest Information Center at Sonoma State University, to determine whether project areas contain known archaeological resources, either prehistoric and/or historic-era, or have the potential for such resources.
CON 4-2	If found during construction, ensure that human remains are treated with sensitivity and dignity, and ensure compliance with the provisions of California Health and Safety Code Section 7050.5 and California Public Resources Code Section 5097.98.
CON 4-3	Work with Native American representatives to identify and appropriately address, through avoidance or mitigation, impacts to Native American cultural resources and sacred sites during the development review process
CON 4-4	Consistent with State, local, and tribal intergovernmental consultation requirements such as SB 18 and AB 52, the City shall consult as necessary with Native American tribes that may be interested in proposed new development and land use policy changes.
CON 5-1	Protect significant historic resources and use these resources to promote a sense of place and history in Milpitas through implementation of the Milpitas Cultural Resources Preservation Program (Municipal Code, Title XI, Chapter 4), the Conceptual Historic Resources Master Plan, the conservation and preservation of the City's historical collection at the Milpitas Community Museum, and other applicable codes, regulations, and area plans.

CEQA DOCUMENTATION

4.5.1.2 *Existing Conditions***Prehistoric Subsurface Resources**

Native Americans occupied Santa Clara Valley and the greater Bay Area for more than 5,000 years. The exact time period of the Ohlone (originally referred to as Costanoan) migration into the Bay Area is debated by scholars. Dates of the migration range between 3,000 B.C. and 500 A.D. Regardless of the actual time frame of their initial occupation of the Bay Area and, in particular, Santa Clara Valley, it is known that the Ohlone had a well-established population of approximately 7,000 to 11,000 people with a territory that ranged from the San Francisco Peninsula and the East Bay south through the Santa Clara Valley and down to Monterey and San Juan Bautista.

Mission Period

Spanish explorers began coming to Santa Clara Valley in 1769. From 1769 to 1776 several expeditions were made to the area during which time the explorers encountered the Native American tribes who had occupied the area since prehistoric times. Expeditions in the Bay Area and throughout California lead to the establishment of the California Missions and, in 1777, the Pueblo de San José de Guadalupe was established.

Post-Mission Period to Mid-20th Century

The town of Milpitas began in the mid-1800's. Prior to 1856, the lands were used for agricultural purposes. By 1880s, the town of Milpitas' population had increased to 200 people and the railroad line was extended through the region in 1869. By 1922, the town's population increased to 800 and the Western Pacific rail line was also completed. By 1953, Ford Motor Company purchased a 160-acre tract in the City which was planned for automobile assembly. Due to the increase in jobs, the town of Milpitas was incorporated in 1954.

Historical and Archaeological Resources

Areas within the City may contain known historical or unknown historical and archaeological resources which have not yet identified.

4.5.2 **Impact Discussion**

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
Would the project:				
1) Cause a substantial adverse change in the significance of a historical resource pursuant to CEQA Guidelines Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2) Cause a substantial adverse change in the significance of an archaeological resource pursuant to CEQA Guidelines Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3) Disturb any human remains, including those interred outside of dedicated cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

CEQA DOCUMENTATION

Impact CUL-1: The project would not cause a substantial adverse change in the significance of a historical resource pursuant to CEQA Guidelines Section 15064.5. **(Less than Significant Impact)**

A substantial adverse change in the significance of an historic resource is defined in Section 15064.5 (b)(1) of the CEQA Guidelines as the “physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired.”

Jose Maria Alviso Adobe and Jose Higuera Adobe are located in Alviso Adobe and Jose Higuera Parks, respectively. Both adobes are identified as historic resources in the City, county, and state’s inventory. Additionally, O’Toole Elms park is located along the alignment of the O’Toole estate driveway (at 701 South Abel Street) which has been identified as a historic resource in the City, county, and state’s inventory. The planned improvements to Alviso Adobe Park, Jose Higuera Park, and O’Toole Elms Park recommended in the Master Plan Update include landscape maintenance, repairing ADA parking access and playground equipment, refurbishing the restrooms, replacing pedestrian pavers with stamped concrete, updating the parking lot, and/or adding a chain link fence and gates. The planned improvements would not demolish, modify, relocate, or otherwise alter the adobes or the 701 South Abel Street property or substantially modify the existing parks within which they are located. For these reasons, implementation of the planned park improvements recommended in the Master Plan update would have a less than significant impact on historic resources or structures. **(Less than Significant Impact)**

Impact CUL-2: The project would not cause a substantial adverse change in the significance of an archaeological resource pursuant to CEQA Guidelines Section 15064.5. **(Less than Significant Impact)**

The planned park improvements recommended in the Master Plan Update would require minor excavation, grading, and other ground disturbing activities at most of the existing parks. Although unlikely, demolition and excavation of individual parks could damage as yet unrecorded subsurface resources. All individual park improvement projects would be evaluated for conformance with regulatory regulations and laws (e.g., Public Resources Code Sections 5097 and 5097.98) and General Plan Policies (e.g., CON 4-1, 4-2, and 4-3), to minimize or avoid impacts to unknown subsurface cultural resources. General Plan Action CON 4a requires a cultural and archaeological survey prior to approval of any project which would require excavation in an area that is sensitive for cultural or archaeological resources. If significant cultural or archaeological resources, including historic and prehistoric resources, are identified, appropriate measures shall be implemented, such as documentation and conservation, to reduce adverse impacts to the resource. Additionally, all park improvement projects would be required to comply with General Plan Action CON 4b in the event cultural resources or human remains are discovered during ground-disturbing activity. Therefore, implementation of the planned improvements to existing parks recommended in the Master Plan Update would not cause a substantial adverse change in the significance of an archaeological resource pursuant to CEQA Guidelines Section 15064.5. **(Less than Significant Impact)**

CEQA DOCUMENTATION

Impact CUL-3: The project would not disturb any human remains, including those interred outside of dedicated cemeteries. **(Less than Significant Impact)**

The planned park improvements recommended in the Master Plan Update would require minor excavation, grading, and other ground disturbing activities at most of the existing parks. The planned improvements would affect previously disturbed areas within existing developed parks and, therefore, it is unlikely human remains would be encountered. All park improvement projects would be required to comply with the California Native American Historical, Cultural, and Sacred Sites Act which requires that upon discovery of human remains, construction or excavation activity must cease and the county coroner be notified. As mentioned previously, all individual park improvement projects would be required to comply with all applicable federal, state, and local regulations related to the discovery of human remains. The planned park improvements recommended in the Master Plan Update would have a less than significant impact on human remains, including those interred outside of dedicated cemeteries. **(Less Than Significant Impact)**

CEQA DOCUMENTATION

4.6 ENERGY

4.6.1 Environmental Setting

4.6.1.1 *Regulatory Framework*

Federal and State

Energy Star and Fuel Efficiency

At the federal level, energy standards set by the EPA apply to numerous consumer products and appliances (e.g., the EnergyStar™ program). The EPA also sets fuel efficiency standards for automobiles and other modes of transportation.

Renewables Portfolio Standard Program

In 2002, California established its Renewables Portfolio Standard Program, with the goal of increasing the percentage of renewable energy in the state's electricity mix to 20 percent of retail sales by 2010. Governor Schwarzenegger issued Executive Order (EO) S-3-05, requiring statewide emissions reductions to 80 percent below 1990 levels by 2050. In 2008, EO S-14-08 was signed into law, requiring retail sellers of electricity serve 33 percent of their load with renewable energy by 2020. In October 2015, Governor Brown signed SB 350 to codify California's climate and clean energy goals. A key provision of SB 350 requires retail sellers and publicly owned utilities to procure 50 percent of their electricity from renewable sources by 2030. SB 100, passed in 2018, requires 100 percent of electricity in California to be provided by 100 percent renewable and carbon-free sources by 2045.

Executive Order B-55-18 To Achieve Carbon Neutrality

In September 2018, Governor Brown issued an executive order, EO-B-55-18 To Achieve Carbon Neutrality, setting a statewide goal "to achieve carbon neutrality as soon as possible, and no later than 2045, and achieve and maintain net negative emissions thereafter." The executive order requires CARB to "ensure future Scoping Plans identify and recommend measures to achieve the carbon neutrality goal." EO-B-55-18 supplements EO S-3-05 by requiring not only emissions reductions, but also that, by no later than 2045, the remaining emissions be offset by equivalent net removals of CO₂ from the atmosphere through sequestration.

California Building Standards Code

The Energy Efficiency Standards for Residential and Nonresidential Buildings, as specified in Title 24, Part 6 of the California Code of Regulations (Title 24), was established in 1978 in response to a legislative mandate to reduce California's energy consumption. Title 24 is updated approximately every three years.²³

²³ International Code Council. "2019 California Administrative Code, Title 24, Part 1 with Jan 2020 Errata." Accessed May 27, 2021. <https://codes.iccsafe.org/content/CAC2019P2/preface>.

CEQA DOCUMENTATION

California Green Building Standards Code

CALGreen establishes mandatory green building standards for buildings in California. CALGreen was developed to reduce GHG emissions from buildings, promote environmentally responsible and healthier places to live and work, reduce energy and water consumption, and respond to state environmental directives. CALGreen covers five categories: planning and design, energy efficiency, water efficiency and conservation, material and resource efficiency, and indoor environmental quality.

Advanced Clean Cars Program

CARB adopted the Advanced Clean Cars program in 2012 in coordination with the EPA and National Highway Traffic Safety Administration. The program combines the control of smog-causing pollutants and GHG emissions into a single coordinated set of requirements for vehicle model years 2015 through 2025. The program promotes development of environmentally superior passenger cars and other vehicles, as well as saving the consumer money through fuel savings.²⁴

Local

Milpitas General Plan

The following policies in the City's General Plan have been adopted for the purpose of reducing or avoiding impacts related to energy and are applicable to the Master Plan Update.

General Plan Policies - Energy	
CIR-2.1	Promote multimodal transportation options by developing an interconnected system of streets, roads, bridges, and highways that provides continuous, efficient, safe and convenient travel for all users regardless of mode, age or ability and encourage users to walk, ride a bicycle, or use transit for shorter, local trips.
PROS 1-15	Design and maintain park and recreation facilities to minimize water, energy and chemical (e.g., pesticides and fertilizer) use. Incorporate the use of recycled water, native and/ or drought-resistant vegetation and ground cover where appropriate. Pursue opportunities for multi-beneficial park developments that incorporate flood control facilities, stormwater management and groundwater recharge areas.
CON 1-2	Ensure all development projects comply with the mandatory energy efficiency requirements of the California Green Building Standards Code (CALGreen).
CON 1-3	Support innovative green building best management practices including, but not limited to, LEED certification, and encourage project applicants to exceed the most current "green" development standards in the California Code of Regulations (CCR), Title 24, as feasible.
CON 1-9	Encourage site planning and building techniques that promote energy conservation. Where feasible, encourage projects to take advantage of shade, prevailing winds,

²⁴ California Air Resources Board. "Advanced Clean Cars Summary." Accessed May 27, 2021. <https://www.arb.ca.gov/msprog/acc/acc.htm>.

CEQA DOCUMENTATION

General Plan Policies - Energy	
	landscaping, sunscreens, building orientations, and material choices that reduce energy use.
USC 5-3	Reduce municipal waste generation by increasing recycling, on-site composting, and mulching, where feasible, at municipal facilities, as well as using resource efficient landscaping techniques in new or renovated medians and parks.

4.6.1.2 Existing Conditions

Total energy usage in California was approximately 7,880 trillion British thermal units (Btu) in the year 2018, the most recent year for which this data was available.²⁵ Out of the 50 states, California is ranked second in total energy consumption and 48th in energy consumption per capita. The breakdown by sector was approximately 18 percent (1,440 trillion Btu) for residential uses, 19 percent (1,510 trillion Btu) for commercial uses, 24 percent (1,851 trillion Btu) for industrial uses, and 39 percent (3,078 trillion Btu) for transportation.²⁶ This energy is primarily supplied in the form of natural gas, petroleum, nuclear electric power, and hydroelectric power.

Electricity

Electricity in Santa Clara County in 2019 was consumed primarily by the commercial sector (76 percent), followed by the residential sector consuming 24 percent. In 2019, a total of approximately 16,664 gigawatt hours (GWh) of electricity was consumed in Santa Clara County.²⁷

Pacific Gas and Electric Company (PG&E) is the City of Milpitas's energy utility, providing both natural gas and electricity for residential, commercial, industrial, and municipal uses. PG&E generates or buys electricity from hydroelectric, nuclear, renewable, natural gas, and coal facilities. In 2019, natural gas facilities provided 29 percent of PG&E's electricity delivered to customers; nuclear plants provided 44 percent; and large hydroelectric facilities provided 27 percent.²⁸

Natural Gas

PG&E also provides natural gas services within Milpitas. In 2018, approximately one percent of California's natural gas supply came from in-state production, while the remaining supply was imported from other western states and Canada.²⁹ In 2019, residential and commercial customers in California used 33 percent of the state's natural gas, power plants used 27 percent, the industrial sector used 36 percent, and other uses used four percent.³⁰ Transportation accounted for one percent

²⁵ United States Energy Information Administration. "State Profile and Energy Estimates, 2018." Accessed May 27, 2021. <https://www.eia.gov/state/?sid=CA#tabs-2>.

²⁶ Ibid.

²⁷ California Energy Commission. Energy Consumption Data Management System. "Electricity Consumption by County." Accessed May 27, 2021. <http://ecdm.energy.ca.gov/elecbycounty.aspx>.

²⁸ Pacific Gas and Electric Company. "Exploring Clean Energy Solutions." Accessed May 27, 2021. https://www.pge.com/en_US/about-pge/environment/what-we-are-doing/clean-energy-solutions/clean-energy-solutions.page?WT.mc_id=Vanity_cleanenergy.

²⁹ California Gas and Electric Utilities. 2019 *California Gas Report*. Accessed May 27, 2021. https://www.socalgas.com/regulatory/documents/cgr/2019_CGR_Supplement_7-1-19.pdf.

³⁰ United States Energy Information Administration. "Natural Gas." Accessed May 27, 2021. https://www.eia.gov/dnav/ng/ng_sum_lsum_dcu_SCA_a.htm.

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of natural gas use in California. In 2018, Santa Clara County used approximately 3.5 percent of the state's total consumption of natural gas.³¹

Fuel for Motor Vehicles

In 2019, 15.4 billion gallons of gasoline were sold in California.³² The average fuel economy for light-duty vehicles (autos, pickups, vans, and sport utility vehicles) in the United States has steadily increased from about 13.1 miles per gallon (mpg) in the mid-1970s to 24.9 mpg in 2019.³³ Federal fuel economy standards have changed substantially since the Energy Independence and Security Act was passed in 2007. That standard, which originally mandated a national fuel economy standard of 35 miles per gallon by the year 2020, was subsequently revised to apply to cars and light trucks model years 2011 through 2020.^{34,35}

4.6.2 Impact Discussion

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
Would the project:				
1) Result in a potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2) Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Impact EN-1: The project would not result in a potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation. (Less than Significant Impact)				

Construction

The planned improvements (e.g., pathways, play features, and event space) recommended in the Master Plan Update would require relatively minor earthwork, demolition, and construction activities. Construction processes are generally designed to be efficient in order to avoid excess monetary costs. That is, equipment and fuel are not typically used wastefully on the site because of

³¹ California Energy Commission. "Natural Gas Consumption by County." Accessed May 27, 2021. <http://ecdms.energy.ca.gov/gasbycounty.aspx>.

³² California Department of Tax and Fee Administration. "Net Taxable Gasoline Gallons." Accessed May 27, 2021. <https://www.cdtfa.ca.gov/dataportal/dataset.htm?url=VehicleTaxableFuelDist>.

³³ United States Environmental Protection Agency. "The 2019 EPA Automotive Trends Report: Greenhouse Gas Emissions, Fuel Economy, and Technology since 1975." March 2020. Accessed May 27, 2021. <https://nepis.epa.gov/Exe/ZyPDF.cgi?Dockey=P1010U68.pdf>.

³⁴ United States Department of Energy. *Energy Independence & Security Act of 2007*. Accessed May 27, 2021. <http://www.afdc.energy.gov/laws/eisa>.

³⁵ Public Law 110-140—December 19, 2007. *Energy Independence & Security Act of 2007*. Accessed May 27, 2021. <http://www.gpo.gov/fdsys/pkg/PLAW-110publ140/pdf/PLAW-110publ140.pdf>.

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the added expense associated with renting the equipment, as well as maintenance and fuel. Furthermore, the existing parks are located near existing supplies and labor, thereby, reducing the amount of energy used to transport supplies and construction workers to the site. For these reasons, construction of the planned improvements recommended in the Master Plan Update would not result in the wasteful, inefficient, or unnecessary consumption of energy resources. **(Less than Significant Impact)**

Operational

Planned improvements such as the installation of new pedestrian lighting and construction of new bathrooms would incrementally increase energy demand while planned improvements such as replacing existing lighting and refurbishing existing bathrooms with energy and water efficient fixtures which would incrementally decrease energy demand. Planned improvements for existing parks would also include replacing dead or dying plants with drought-tolerant plants which would reduce water use for landscaping. Each individual park would be required to comply with CALGreen requirements and all applicable federal, state, and local regulations related to energy and water use. For these reasons, operation of the planned improvements recommended in the Master Plan Update would not result in the wasteful, inefficient, or unnecessary consumption of energy resources. **(Less than Significant Impact)**

Impact EN-2: The project would not conflict with or obstruct a state or local plan for renewable energy or energy efficiency. **(Less than Significant Impact)**

Construction and operation of the planned improvements recommended in the Master Plan Update would be required to comply with the following:

- Title 24 and CALGreen requirements
- City's Climate Action Plan measures, policies, and actions
- All applicable federal, state, and local regulations related to energy usage

Therefore, implementation of the Master Plan Update would not conflict with or obstruct a state or local plan for renewable energy or energy efficiency. **(Less than Significant Impact)**

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4.7 GEOLOGY AND SOILS

4.7.1 Environmental Setting

4.7.1.1 *Regulatory Framework*

State

Alquist-Priolo Earthquake Fault Zoning Act

The Alquist-Priolo Earthquake Fault Zoning Act was passed following the 1971 San Fernando earthquake. The act regulates development in California near known active faults due to hazards associated with surface fault ruptures. Alquist-Priolo maps are distributed to affected cities, counties, and state agencies for their use in planning and controlling new construction. Areas within an Alquist-Priolo Earthquake Fault Zone require special studies to evaluate the potential for surface rupture to ensure that no structures intended for human occupancy are constructed across an active fault.

Seismic Hazards Mapping Act

The Seismic Hazards Mapping Act (SHMA) was passed in 1990 following the 1989 Loma Prieta earthquake. The SHMA directs the California Geological Survey (CGS) to identify and map areas prone to liquefaction, earthquake-induced landslides, and amplified ground shaking. CGS has completed seismic hazard mapping for the portions of California most susceptible to liquefaction, landslides, and ground shaking, including the central San Francisco Bay Area. The SHMA requires that agencies only approve projects in seismic hazard zones following site-specific geotechnical investigations to determine if the seismic hazard is present and identify measures to reduce earthquake-related hazards.

California Building Standards Code

The California Building Standards Code (CBC) prescribes standards for constructing safe buildings. The CBC contains provisions for earthquake safety based on factors including occupancy type, soil and rock profile, ground strength, and distance to seismic sources. The CBC requires that a site-specific geotechnical investigation report be prepared for most development projects to evaluate seismic and geologic conditions such as surface fault ruptures, ground shaking, liquefaction, differential settlement, lateral spreading, expansive soils, and slope stability. The CBC is updated every three years.

California Division of Occupational Safety and Health Regulations

Excavation, shoring, and trenching activities during construction are subject to occupational safety standards for stabilization by the California Department of Industrial Relations, Division of Occupational Safety and Health (Cal/OSHA) under Title 8 of the California Code of Regulations and Excavation Rules. These regulations minimize the potential for instability and collapse that could injure construction workers on the site.

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Public Resources Code Section 5097.5

Paleontological resources are the fossilized remains of organisms from prehistoric environments found in geologic strata. They range from mammoth and dinosaur bones to impressions of ancient animals and plants, trace remains, and microfossils. These materials are valued for the information they yield about the history of the earth and its past ecological settings. California Public Resources Code Section 5097.5 specifies that unauthorized removal of a paleontological resource is a misdemeanor. Under the CEQA Guidelines, a project would have a significant impact on paleontological resources if it would disturb or destroy a unique paleontological resource or site or unique geologic feature.

Local

Milpitas General Plan

The following policies in the City's General Plan have been adopted for the purpose of reducing or avoiding impacts related to geologic and seismic hazards and are applicable to the Master Plan Update.

General Plan Policies – Geology and Soils	
SA 1-1	Require development to reduce risks to life and property associated with earthquakes, liquefaction, erosion, landslides, and unstable soil conditions.
SA 1-2	Ensure that all new development and construction is in conformance with all applicable building standards related to geologic and seismic safety.
SA 1-3	Require geotechnical investigations to be completed prior to approval of any public safety or other critical facilities, in order to ensure that these facilities are constructed in a way that mitigates site-specific seismic and/or geologic hazards.
SA 1-4	Development in areas subject to unstable soil and/or geologic conditions shall be reviewed by qualified engineers and or geologists prior to development in order to ensure the safety and stability of all new construction.
SA 1-5	Require an erosion and sediment control plan prepared by a civil engineer, or other professional who is qualified to prepare such a plan, as part of any grading permit application for new development. The erosion and sediment control plan shall delineate measures to appropriately and effectively minimize soil erosion and sedimentation.
SA 1-6	All structures and building foundations requiring a building permit located within areas containing expansive soils, or other soils conditions which, if not corrected, would lead to structural defects, or unsafe conditions, shall be reviewed by a qualified engineer, who shall recommend corrective actions as appropriate to remedy onsite soil conditions.
SA 1-7	All structures and additions requiring a building permit shall be designed and engineered to comply with the most current version of the California Code of Regulations (CCR), Title 24.

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4.7.1.2 *Existing Conditions*

Regional Geology

The City of Milpitas is located in the Santa Clara Valley, a relatively flat alluvial basin bounded by the Diablo Mountain Range to the east and the Santa Cruz Mountains to the west.

On-Site Geologic Conditions

Topography and Soils

There are 30 different soil types located within the planning area which are shown in Figure 4.7-1 below.

Groundwater

The planning area lies within the Santa Clara Groundwater Basin, which extends from the southern edge of San Francisco Bay through the Coyote Valley.

Seismicity and Seismic-Related Hazards

The San Francisco Bay Area is one of the most seismically active regions in the U.S. The significant earthquakes that occur in the Bay Area are generally associated with the crustal movements along well-defined active fault zones of the San Andreas Fault system, which regionally trend in a northwesterly direction. Faults in the region are capable of generating earthquakes of magnitude 6.7 or higher, and strong to very strong ground shaking is expected to occur in the City during a major earthquake. The Hayward Fault Zone, an Alquist-Priolo Earthquake Fault Zone, is located within the City. In addition, there are two known active or potentially active faults in the planning area which include the Arroyo Aguague Fault and the Hayward Fault.

Liquefaction

Liquefaction occurs when water-saturated soils lose structural integrity due to seismic activity. Soils that are most susceptible to liquefaction are loose to moderately dense, saturated granular soils with poor drainage. The liquefaction potential within the City of Milpitas ranges from very low to very high.

Lateral Spreading

Lateral spreading is a type of ground failure related to liquefaction. It consists of the horizontal displacement of flat-lying alluvial material toward an open area, such as a steep bank of a stream channel. Per the General Plan, the area most prone to lateral spreading are the hillsides to the east.

Landslides

Landslides occur when the stability of a slope changes from a stable to an unstable condition. The project area is relatively flat; therefore, the probability of landslides occurring at the site during a seismic event is low.

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FIGURE 4.7-1

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Paleontological Resources

Paleontological resources are the fossilized remains of organisms from prehistoric environments found in geologic strata. Most of the City is situated on alluvial fan deposits of Holocene age that have a low potential to contain significant nonrenewable paleontological resources; however, older Pleistocene sediments present at or near the ground surface at some locations of the City have high potential to contain these resources. These older sediments, often found at depths of greater than 10 feet below the ground surface (bgs), have yielded the fossil remains of plants and extinct terrestrial Pleistocene vertebrates.

4.7.2 Impact Discussion

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
Would the project:				
1) Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:				
– Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault (refer to Division of Mines and Geology Special Publication 42)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
– Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
– Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
– Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4) Be located on expansive soil, as defined in the current California Building Code, creating substantial direct or indirect risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6) Directly or indirectly destroy a unique paleontological resource or site or unique geological feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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On December 17, 2015, the California Supreme Court issued an opinion in “CBIA vs. BAAQMD” holding that CEQA is primarily concerned with the impacts of a project on the environment and generally does not require agencies to analyze the impact of existing conditions on a project unless the project could exacerbate the existing environmental hazards or risks. The proposed project would not exacerbate existing geology and soil conditions in the project area; therefore, the proposed project would not result in geology and soils impacts, except for potential erosion and paleontological resource impacts. Nevertheless, the City has policies and regulations that address existing conditions affecting a proposed project. The City has, therefore, included planning considerations relating to these policies and regulations for information only.

Impact GEO-1: The project would not directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault; strong seismic ground shaking; seismic-related ground failure, including liquefaction; or landslides. **(Less than Significant Impact)**

Portions of the City are located within an Alquist-Priolo Earthquake Fault Zone and there are two known active or potentially active faults in the area. As a result, the City could experience strong ground shaking during a seismic event, and there is the potential for lateral spreading and landslides along the hillsides. All park improvement projects would be required to conform to applicable General Plan policies and federal, state, and local regulations to reduce potential impacts associated with a seismic event, including rupture of an earthquake fault, seismic ground shaking, liquefaction, and landslides. Therefore, implementation of the Master Plan Update would not exacerbate existing seismic conditions. **(Less than Significant Impact)**

Impact GEO-2: The project would not result in substantial soil erosion or the loss of topsoil. **(Less than Significant Impact)**

Construction of the planned park improvements recommended in the Master Plan Update would require minor excavation, grading, and other ground disturbing activities that could increase soil erosion. All ground-disturbing activities completed under the Master Plan Update would be required to comply with all applicable City regulatory programs pertaining to construction-related erosion including the City’s NPDES General Construction Permit, urban runoff policies, and the Municipal Code. Additionally, all park improvement projects would be required to comply with applicable General Plan policies and the City’s Municipal Code as discussed in Section 4.10, Hydrology and Water Quality. All ground disturbing activities completed under the Master Plan Update would be required to comply with General Plan Policy SA 1-5 which requires new development to prepare an erosion and sediment control plan to minimize soil erosion and sedimentation. Therefore, future park improvements under the Master Plan Update in conformance with existing regulations and the General Plan would not result in substantial soil erosion or the loss of topsoil. **(Less Than Significant Impact)**

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Impact GEO-3: The project would not be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse. **(Less than Significant Impact)**

The planning area has very low to very high liquefaction potential and the area most prone to lateral spreading are the hillsides located east. All park improvement project would be required to use standard engineering and seismic safety design techniques during project construction. Additionally, each park would be constructed in conformance with a site-specific geotechnical investigation. As a result, future park improvement projects would not be located on a geologic unit or soil that is unstable or would become unstable as a result of the Master Plan Update. **(Less Than Significant Impact)**

Impact GEO-4: The project would not be located on expansive soil, as defined in the current California Building Code, creating substantial direct or indirect risks to life or property. **(Less than Significant Impact)**

As mentioned previously, the City of Milpitas has a low to very high expansion potential and very strong ground shaking during an earthquake. As discussed in Impact GEO-1, all park improvement projects would be required to comply with the CBC to address soil instability. Therefore, implementation of the planned improvements under the Master Plan Update would not result in a significant geology hazards impact. **(Less than Significant Impact)**

Impact GEO-5: The project would not have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater. **(No Impact)**

The proposed improvements to existing parks and future parks would not require the use of septic tanks or alternative wastewater disposal systems and wastewater would be discharged into the existing public sanitary sewer system. Therefore, none of the existing and planned parks would require soils capable of supporting the use of septic tanks. **(No Impact)**

Impact GEO-6: The project would not directly or indirectly destroy a unique paleontological resource or site or unique geological feature. **(Less than Significant Impact)**

While park improvements would include grading and excavation activities, it could be reasonably assumed that substantial excavation would not be required. Furthermore, all planned park improvement projects (that would require excavation) would be required to conform to applicable General Plan policies and federal, state, and local regulations to avoid and reduce construction-related paleontological resources impacts. As mentioned in General Plan Action CON 4b, if historic or prehistoric archaeological artifacts or unique paleontological resources are discovered during ground-disturbing activities, all work within 100 feet of the discovery shall stop and the Planning Department shall be notified, the resources shall be examined by a qualified archaeologist, paleontologist or historian for appropriate protection and preservation measures. Therefore,

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implementation of the Master Plan Update would have a less than significant paleontological resources impact. **(Less than Significant Impact)**

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4.8 GREENHOUSE GAS EMISSIONS

4.8.1 Environmental Setting

4.8.1.1 *Background Information*

Gases that trap heat in the atmosphere, GHGs, regulate the earth's temperature. This phenomenon, known as the greenhouse effect, is responsible for maintaining a habitable climate. In GHG emission inventories, the weight of each gas is multiplied by its global warming potential (GWP) and is measured in units of CO₂ equivalents (CO₂e). The most common GHGs are carbon dioxide (CO₂) and water vapor but there are also several others, most importantly methane (CH₄), nitrous oxide (N₂O), hydrofluorocarbons (HFCs), perfluorocarbons (PFCs), and sulfur hexafluoride (SF₆). These are released into the earth's atmosphere through a variety of natural processes and human activities. Sources of GHGs are generally as follows:

- CO₂ and N₂O are byproducts of fossil fuel combustion.
- N₂O is associated with agricultural operations such as fertilization of crops.
- CH₄ is commonly created by off-gassing from agricultural practices (e.g., keeping livestock) and landfill operations.
- Chlorofluorocarbons (CFCs) were widely used as refrigerants, propellants, and cleaning solvents, but their production has been stopped by international treaty.
- HFCs are now used as a substitute for CFCs in refrigeration and cooling.
- PFCs and SF₆ emissions are commonly created by industries such as aluminum production and semiconductor manufacturing.

An expanding body of scientific research supports the theory that global climate change is currently causing changes in weather patterns, average sea level, ocean acidification, chemical reaction rates, and precipitation rates, and that it will increasingly do so in the future. The climate and several naturally occurring resources within California are adversely affected by the global warming trend. Increased precipitation and sea level rise will increase coastal flooding, saltwater intrusion, and degradation of wetlands. Mass migration and/or loss of plant and animal species could also occur. Potential effects of global climate change that could adversely affect human health include more extreme heat waves and heat-related stress; an increase in climate-sensitive diseases; more frequent and intense natural disasters such as flooding, hurricanes and drought; and increased levels of air pollution.

4.8.1.2 *Regulatory Framework*

State

Assembly Bill 32

Under the California Global Warming Solutions Act, also known as AB 32, CARB established a statewide GHG emissions cap for 2020, adopted mandatory reporting rules for significant sources of GHGs, and adopted a comprehensive plan, known as the Climate Change Scoping Plan, identifying how emission reductions would be achieved from significant GHG sources.

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In 2016, SB 32 was signed into law, amending the California Global Warming Solution Act. SB 32, and accompanying Executive Order B-30-15, require CARB to ensure that statewide GHG emissions are reduced to 40 percent below the 1990 level by 2030. CARB updated its Climate Change Scoping Plan in December of 2017 to express the 2030 statewide target in terms of million metric tons of CO₂e (MMTCO₂e). Based on the emissions reductions directed by SB 32, the annual 2030 statewide target emissions level for California is 260 MMTCO₂e.

Senate Bill 375

SB 375, known as the Sustainable Communities Strategy and Climate Protection Act, was signed into law in September 2008. SB 375 builds upon AB 32 by requiring CARB to develop regional GHG reduction targets for automobile and light truck sectors for 2020 and 2035. The per-capita GHG emissions reduction targets for passenger vehicles in the San Francisco Bay Area include a seven percent reduction by 2020 and a 15 percent reduction by 2035.

Consistent with the requirements of SB 375, the Metropolitan Transportation Commission (MTC) partnered with the Association of Bay Area Governments (ABAG), BAAQMD, and the Bay Conservation and Development Commission to prepare the region's Sustainable Communities Strategy (SCS) as part of the Regional Transportation Plan process. The SCS is referred to as Plan Bay Area 2040. Plan Bay Area 2040 establishes a course for reducing per-capita GHG emissions through the promotion of compact, high-density, mixed-use neighborhoods near transit, particularly within identified Priority Development Areas (PDAs).

Regional

2017 Clean Air Plan

To protect the climate, the 2017 CAP (prepared by BAAQMD) includes control measures designed to reduce emissions of methane and other super-GHGs that are potent climate pollutants in the near-term, and to decrease emissions of carbon dioxide by reducing fossil fuel combustion.

CEQA Air Quality Guidelines

The BAAQMD CEQA Air Quality Guidelines are intended to serve as a guide for those who prepare or evaluate air quality impact analyses for projects and plans in the San Francisco Bay Area. The jurisdictions in the San Francisco Bay Area Air Basin utilize the thresholds and methodology for assessing GHG impacts developed by BAAQMD within the CEQA Air Quality Guidelines. The guidelines include information on legal requirements, BAAQMD rules, methods of analyzing impacts, and recommended mitigation measures.

Local

Climate Action Plan

In 2013, the City of Milpitas prepared and adopted a Climate Action Plan to reduce community-wide GHG emissions. In addition to reducing GHG emissions, the Climate Action Plan provides guidance for adapting to anticipated effects of climate change. The Climate Action Plan looks at five key sectors (energy use, vehicle miles, waste production, water usage, and off-road activities) and

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incorporates best practices to produce a blueprint for achieving GHG emissions reduction in Milpitas and compliance with AB 32 and SB 375. The CAP is currently being updated.

Milpitas General Plan

The following policies in the City's General Plan have been adopted for the purpose of reducing or avoiding impacts related to GHG emissions and are applicable to the Master Plan Update. Additional policies have been adopted to reduce energy use (and thus emissions from fuel use). Refer to *Sections 4.3 Air Quality, 4.6 Energy, and 4.17 Transportation* for these policies.

General Plan Policies – Greenhouse Gas Emissions	
CD 11-2	Encourage passive solar design and energy-efficient concepts, including, but not limited to natural heating and/or cooling, sun and wind exposure and orientation, and other solar energy opportunities
CON 1-1	Ensure that new development is consistent with the energy objectives and targets identified by the City's Climate Action Plan (CAP).
CON 1-2	Ensure all development projects comply with the mandatory energy efficiency requirements of the California Green Building Standards Code (CALGreen).
CON 1-9	Encourage site planning and building techniques that promote energy conservation. Where feasible, encourage projects to take advantage of shade, prevailing winds, landscaping, sunscreens, building orientations, and material choices that reduce energy use.
CON 7-4	Require projects to adhere to the requirements of the Bay Area Air Quality Management District (BAAQMD).
CON 7-5	Use the City's development review process and the California Environmental Quality Act (CEQA) to evaluate and mitigate the local and cumulative effects of new development on air quality.
CON 7-7	Comply with regional, state, and federal standards and programs for control of all airborne pollutants and noxious odors, regardless of source.
CON 7-13	Implement energy policies and actions that have co-benefits of reduced air pollution and greenhouse gases by increasing energy efficiency, conservation, and the use of renewable resources.
CIR 4-5	Support building bridges or under-crossings across creek channels, railroad lines and roadways in a manner that will enhance safety, improve network connectivity, and facilitate bicycling and walking between high density residential developments, retail centers, civic buildings, and recreational centers.
CIR-6.9	Maximize efficient maintenance of transportation infrastructure of all modes, such as coordinating roadway paving or striping projects to include maintenance of pedestrian and bicycle infrastructure.

4.8.1.3 Existing Conditions

GHG emissions from existing parks are generated by vehicles traveling to and from the parks and lighting associated with the parks.

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4.8.2 Impact Discussion

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
Would the project:				
1) Generate greenhouse gas (GHG) emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2) Conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of GHGs?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Impact GHG-1: The project would not generate GHG emissions, either directly or indirectly, that may have a significant impact on the environment. **(Less than Significant Impact)**

Construction Emissions

Construction activities associated with future implementation of the Master Plan Update could generate GHG emissions from the operation of construction equipment and emissions from construction workers' personal vehicles traveling to and from the park. Construction-related GHG emissions vary depending on the level of activity, length of the construction period, specific construction operations, types of equipment, and number of personnel. GHG emissions during construction of the planned park improvements would be temporary and would be subject to the City's Climate Action Plan and BAAQMD). Specifically, the City's Climate Action Plan Measure 12.2 encourages projects to comply with BAAQMD BMPs to reduce GHG emissions during construction by use of alternative fueled vehicles, use of local recycled materials, and recycling of construction or demolition materials. For these reasons, construction activities associated with future implementation of the Master Plan Update would not generate GHG emissions, either directly or indirectly, that may have a significant impact on the environment. **(Less Than Significant Impact)**

Operation

The Master Plan Update identifies improvements to existing parks serving the local community, thereby, reducing the need for residents to travel to recreational facilities outside the City. Planned improvements at each individual park would be required to comply with CALGreen requirements and all applicable federal, state, and local regulations related to energy and water conservation. For these reasons, operation of the planned improvements recommended in the Master Plan Update would not generate GHG emissions, either directly or indirectly, that may have a significant impact on the environment. **(Less Than Significant Impact)**

Impact GHG-2: The project would not conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of GHGs. **(Less than Significant Impact)**

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2017 Clean Air Plan

The Master Plan Update identifies improvements to existing parks serving the City of Milpitas consistent with applicable General Plan goals and policies and General Plan growth assumptions, upon which the 2017 CAP is based. As discussed below, the Master Plan Update is also consistent with the City's Climate Action Plan. The planned improvements would reduce the need (and associated GHG emissions) for residents to travel to recreational facilities outside the City. For these reasons, the Master Plan Update is consistent with the 2017 CAP. **(Less than Significant Impact)**

2013 Climate Action Plan

In 2013, the City of Milpitas prepared and adopted a Climate Action Plan to reduce community-wide GHG emissions. Consistent with the General Plan, Measure 7.1 of the City's Climate Action Plan is to expand the City's park and open space system. The proposed Master Plan Update is specifically consistent with this measure and, therefore, is consistent with the Climate Action Plan. Furthermore, implementation of the planned improvements recommended in the Master Plan Update would be required to comply with all applicable federal, state, and local regulations for reducing GHG emissions. For these reasons, the Master Plan Update is consistent with the City of Milpitas Climate Action Plan. **(Less than Significant Impact)**

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4.9 HAZARDS AND HAZARDOUS MATERIALS

4.9.1 Environmental Setting

4.9.1.1 *Regulatory Framework*

Overview

The storage, use, generation, transport, and disposal of hazardous materials and waste are highly regulated under federal and state laws. In California, the EPA has granted most enforcement authority over federal hazardous materials regulations to the California Environmental Protection Agency (CalEPA). In turn, local agencies have been granted responsibility for implementation and enforcement of many hazardous materials regulations under the Certified Unified Program Agency (CUPA) program.

Worker health and safety and public safety are key issues when dealing with hazardous materials. Proper handling and disposal of hazardous material is vital if it is disturbed during project construction. Cal/OSHA enforces state worker health and safety regulations related to construction activities. Regulations include exposure limits, requirements for protective clothing, and training requirements to prevent exposure to hazardous materials. Cal/OSHA also enforces occupational health and safety regulations specific to lead and asbestos investigations and abatement.

Federal and State

Comprehensive Environmental Response, Compensation, and Liability Act

The Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA), commonly known as Superfund, was enacted by Congress on December 11, 1980. This law created a tax on the chemical and petroleum industries and provided broad federal authority to respond directly to releases or threatened releases of hazardous substances that may endanger public health or the environment. Over five years, \$1.6 billion was collected and the tax went to a trust fund for cleaning up abandoned or uncontrolled hazardous waste sites. CERCLA accomplished the following objectives:

- Established prohibitions and requirements concerning closed and abandoned hazardous waste sites;
- Provided for liability of persons responsible for releases of hazardous waste at these sites; and
- Established a trust fund to provide for cleanup when no responsible party could be identified.

The law authorizes two kinds of response actions:

- Short-term removals, where actions may be taken to address releases or threatened releases requiring prompt response; and
- Long-term remedial response actions that permanently and significantly reduce the dangers associated with releases or threats of releases of hazardous substances that are serious, but

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not immediately life-threatening. These actions can be completed only at sites listed on the EPA's National Priorities List.

CERCLA also enabled the revision of the National Contingency Plan (NCP). The NCP provided the guidelines and procedures needed to respond to releases and threatened releases of hazardous substances, pollutants, or contaminants. The NCP also established the National Priorities List. CERCLA was amended by the Superfund Amendments and Reauthorization Act on October 17, 1986.³⁶

Resource Conservation and Recovery Act

The Resource Conservation and Recovery Act (RCRA), enacted in 1976, is the principal federal law in the United States governing the disposal of solid waste and hazardous waste. RCRA gives the EPA the authority to control hazardous waste from the "cradle to the grave." This includes the generation, transportation, treatment, storage, and disposal of hazardous waste. RCRA also sets forth a framework for the management of non-hazardous solid wastes.

The Federal Hazardous and Solid Waste Amendments (HSWA) are the 1984 amendments to RCRA that focused on waste minimization, phasing out land disposal of hazardous waste, and corrective action for releases. Some of the other mandates of this law include increased enforcement authority for the EPA, more stringent hazardous waste management standards, and a comprehensive underground storage tank program.³⁷

Government Code Section 65962.5

Section 65962.5 of the Government Code requires CalEPA to develop and update a list of hazardous waste and substances sites, known as the Cortese List. The Cortese List is used by state and local agencies and developers to comply with CEQA requirements. The Cortese List includes hazardous substance release sites identified by the Department of Toxic Substances Control (DTSC) and State Water Resources Control Board (SWRCB).³⁸

Toxic Substances Control Act

The Toxic Substances Control Act (TSCA) of 1976 provides the EPA with authority to require reporting, record-keeping and testing requirements, and restrictions relating to chemical substances and/or mixtures. Certain substances are generally excluded from TSCA, including, among others, food, drugs, cosmetics, and pesticides. The TSCA addresses the production, importation, use, and disposal of specific chemicals including polychlorinated biphenyls (PCBs), asbestos, radon, and lead-based paint (LBP).

³⁶ United States Environmental Protection Agency. "Superfund: CERCLA Overview." Accessed September 14, 2020. <https://www.epa.gov/superfund/superfund-cercla-overview>.

³⁷ United States Environmental Protection Agency. "Summary of the Resource Conservation and Recovery Act." Accessed September 14, 2020. <https://www.epa.gov/laws-regulations/summary-resource-conservation-and-recovery-act>.

³⁸ California Environmental Protection Agency. "Cortese List Data Resources." Accessed October 6, 2020. <https://calepa.ca.gov/sitecleanup/corteseelist/>.

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California Accidental Release Prevention Program

The California Accidental Release Prevention (CalARP) Program aims to prevent accidental releases of regulated hazardous materials that represent a potential hazard beyond the boundaries of a property. Facilities that are required to participate in the CalARP Program use or store specified quantities of toxic and flammable substances (hazardous materials) that can have off-site consequences if accidentally released. The Santa Clara County Department of Environmental Health reviews CalARP risk management plans as the CUPA.

Local

Milpitas General Plan

The following policies in the City's General Plan have been adopted for the purpose of reducing or avoiding impacts related to hazards and hazardous materials and are applicable to the Master Plan Update.

General Plan Policies - Hazards and Hazardous Materials	
SA-5.1	Require hazardous waste generated within Milpitas to be disposed of in a safe manner, consistent with all applicable local, state, and federal laws.
SA-5.2	Hazardous materials shall be stored in a safe manner, consistent with all applicable local, state, and federal laws.
SA-5.4	Use the environmental review process to comment on Hazardous Waste Transportation, Storage and Disposal (TSD) Facilities proposed in the Milpitas Planning Area and throughout the County to request a risk assessment and ensure that potentially significant, widespread, and long-term impacts on public health and safety of these facilities are identified and mitigated, as such impacts do not respect jurisdictional boundaries.
SA-5.5	As feasible, minimize the use of toxic cleaning supplies and products in civic facilities, and minimize the City's use of pesticides, herbicides and fertilizers during landscaping and outdoor municipal operations.

4.9.1.2 Existing Conditions

Identified Hazardous Facilities

Based on the General Plan FEIR, there are 62 locations within the City that are listed in the Envirostor Database. Table 4.9-1 below provides a summary of the facilities listed in the database.

Table 4.9-1: Identified Facilities in Envirostor Database		
Name	Location	Status
Corrective Action Sites		
Great Western Chemical Co	945 Ames Avenue	Refer to RWQCB
The Sherwin Williams Company	805 Sinclair Frontage Road	Inactive -Needs Evaluation
Evaluation/Investigation Sites		

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Table 4.9-1: Identified Facilities in Envirostor Database

Name	Location	Status
Chevron Service Station/Bulk Plant	198 Winsor Avenue	Refer to 1248 Local Agency
Kaiser Experimental Lab	1600 South Main Street	Refer to 1248 Local Agency
KOMAG 4	275 South Hillview Drive	No Further Action
Mony Property	1980 Tarob Court	No Further Action
The Apton	230 North Main Street	Refer to 1248 Local Agency
Non-Operating Sites		
Great Western Chemical Co	945 Ames Ave	Closed
Ionization Research CO DBA Ecosolutions	1823 Houret Court	Closed
The Sherwin Williams Company	805 Sinclair Frontage Road	Protective Filer
School Cleanup/School Investigation		
Mabel Mattos Elementary School	1750 McCandless Drive	Active – School Cleanup
Centre Pointe Drive	APN 086-33-102 and -103	Inactive – Withdrawn (School Investigation)
McCandless Additional Parcels for School Site	Houret Drive and Houret Court	Inactive – Withdrawn (School Investigation)
State Response		
Cook Paint And Varnish Company	201 Sinclair Frontage Road	Certified
Exide Corporation	700 Montague Expressway	Certified
Stonegate Development	1260 Dempsey Road	Certified O&M - Land Use Restrictions Only
Target Masters West	122 Minnis Circle	Active
Tiered Permits		
Akashic Memories Corp., Milpitas	304 Turquoise Street	No Further Action
Aptos Corp., Centre Pointe Drive	1557 Centre Pointe Drive	Refer to RWQCB
California Micro Devices Corp	215 Topaz Street	No Further Action
CBR Circuits, Inc.	116 Minnis Circle	Inactive - Needs Evaluation
Cordova Printed Circuits, Inc	1648 Watson Court	Inactive - Needs Evaluation
DiSC Stampers LLC	1003 Montague Court	Inactive - Needs Evaluation
DiSC Stampers LLC	1103 Montague Court	Inactive - Needs Evaluation
Dynamic Circuits, Inc.	1831 Tarob Court	Inactive - Needs Evaluation
Great Western Chemical Co. – Milpitas	945 Ames Avenue	Inactive - Needs Evaluation
Headway Technologies, Inc.	497 So Hillview Drive	Inactive - Needs Evaluation
Integrated Packaging Assembly Corp.	1503 Gladding Court	No Further Action
International Microcircuits, Inc.	525 Los Coches Street	Inactive - Needs Evaluation
Intersil Corporation	1996 Tarob Court	Inactive - Needs Evaluation
Komag, Inc. #1	591 Yosemite Drive	Inactive - Needs Evaluation
Kovio, Inc.	233 South Hillview Drive	Inactive - Needs Evaluation

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Table 4.9-1: Identified Facilities in Envirostor Database

Name	Location	Status
Kullicke & Soffa Industries, Inc.	1504 McCarthy Boulevard	Inactive - Needs Evaluation
Lenthor Engrg., Inc.	1506 Gladding Court	Inactive - Needs Evaluation
Linear Technology Corp.	1630 McCarthy Boulevard	Inactive - Needs Evaluation
Linear Technology Corporation, Hillview Facility	275 South Hillview Drive	Inactive - Needs Evaluation
Lite-On, Inc.	720 South Hillview Drive	Inactive - Needs Evaluation
Lockheed Martin Fairchild System	1801 McCarthy Boulevard	Inactive - Needs Evaluation
LSI Logic Corp.	1601 McCarthy Boulevard	Inactive - Needs Evaluation
Mektec Corp	1740 McCandless Drive	Inactive - Needs Evaluation
North American Transformer/SPX Corporation	1200 Piper Drive	Refer to Other Agency
NTA Industries, Inc.	398 Railroad Court	Inactive - Needs Evaluation
Ontrak Systems, Inc.	77 W. Montague Expressway	Inactive - Needs Evaluation
PCB Engrg., Inc	1478 Gladding Court	Inactive - Needs Evaluation
Photonics California, Inc.	1913 Tarob Court	Inactive - Needs Evaluation
Quartz International, Inc.	1181 Cadillac Court	Inactive - Needs Evaluation
Read-Rite Corp. – Milpitas	345 Los Coches Street	No Further Action
Saint-Gobain Quartz	1181 Cadillac Court	Inactive - Needs Evaluation
Seagate Technology, Inc.	311 Turquoise Street	Inactive - Needs Evaluation
Sensym, Inc. – Milpitas	1804 McCarthy Boulevard	Inactive - Needs Evaluation
Silicon Microstructures, Inc.	1701 McCarthy Boulevard	Inactive - Needs Evaluation
Silicon Valley Electro-Plating Corp.	1486 Gladding Court	Inactive - Needs Evaluation
Sipex Corporation	233 South Hillview Drive	Inactive - Needs Evaluation
South Valley Circuits, Inc.	1603 Watson Court	Inactive - Needs Evaluation
StorMedia, Inc.	690 Gibraltar Drive	Refer to Other Agency
That Corporation Integrated Systems	495 Fairview Way	Inactive - Needs Evaluation
U-Tech media USA, LLC	1103 Montague Court	Inactive - Needs Evaluation
WJ Communications, Inc.	1530 McCarthy Boulevard	Inactive - Needs Evaluation
Xicor, Inc.	851 Buckeye Court	Inactive - Needs Evaluation
Voluntary Cleanup		
Former Stormedia Facility	690 Gibraltar Drive	No Further Action
Handcraft Tile	1696 South Main Street	Certified
McCarthy Ranch	McCarthy Boulevard and Ranch Drive	No Further Action

Cortese List

None of the existing City parks are included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5.³⁹

³⁹ City of Milpitas. *Milpitas General Plan Final Environmental Impact Report*. November 2, 2020. Page 3.8-5.

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Leaking Underground Storage Tanks

There are 95 locations that are listed in the GeoTracker database for leaking underground storage tanks (LUST). Of the 95 sites, 93 sites have completed the LUST cleanup and case has been closed. One site at 36 Winsor Street is open for site assessment and the other site at 97 South Abbott Avenue has an open case for verification monitoring.

Water Board Program Cleanup Sites

There are a total of 49 sites in the City that are listed in the GeoTracker database for Water Board Cleanup Sites. A total of 23 sites have undergone cleanup and case has been closed. The remaining 26 sites in the City with open cases are listed in the table below.

Table 4.9-2: Identified Water Board Cleanup Sites	
Open – Assessment and Interim Remedial Action	
Integral Communities	1350 McCandless Dr
Siena by Landsea Development	600 Amalfi Loop
Toll Brothers Tarob 3 Development	551 Lundy Place
Murco Property	312 South Main Street
Milpitas Station	1425 South Milpitas Boulevard
Open – Inactive Case	
Fox Hollow - Park Victoria Site	Park Victoria & Fox Hollow
O'Donnell Investment Partners	Wrigley Way X Vista Way
Milpitas City	1265 North Milpitas Boulevard
Open – Eligible For Closure	
Victorian Square Cleaners	1285 East Calaveras Boulevard
Open – Remediation	
Ford Cleaners	1822 Milmont Drive
1 Hanson Court	1 Hanson Court
Former Viking Freight System, Inc.	355 Sango Court
Former Dynamic Circuits	1350 South Park Victoria Drive
Palazzo at Montague Village Townhouses	1200 Piper Drive
North American Transformer	1200 Piper Drive
Open – Site Assessment	
Summerhill Apartments Centre Pointe	1646 Centre Pointe Drive
Summerhill Building A	1646 Centre Pointe Drive
Summerhill Building A	1646 Centre Pointe Drive
Centre Pointe Business Park	1463-1589 Centre Pointe Drive
Jones Chemical	985 Montague Expressway
Prudential Overall Supply	1429 Milpitas Boulevard N
Eastside San Ramon Partners LLC	260 S Main Street
450 Montague	450 Montague Expressway
Open – Verification Monitoring	
Parktown Plaza Shopping Center	1350 South Park Victoria Drive

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Naturally Occurring Asbestos

Areas in the City of Milpitas have been known to contain Naturally Occurring Asbestos (NOA) at concentrations in excess of established regulatory levels. Risks to human health are primarily associated with inhaling asbestos fibers which become airborne during soil disturbance.

Airport Hazards

The nearest airport is the Norman Y. Mineta San José International Airport, which is located approximately two miles south of the City of Milpitas. According to the Norman Y. Mineta San José International Airport Comprehensive Land Use Plan, the City of Milpitas is not located within an airport safety zone.

Wildfire Hazards

The City of Milpitas is not located in a Very High Fire Severity zone.⁴⁰

4.9.2 Impact Discussion

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
Would the project:				
1) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, result in a safety hazard or excessive noise for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

⁴⁰ City of Milpitas. *Milpitas General Plan Final Environmental Impact Report*. November 2, 2020. Page 3.8-17.

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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
Would the project:				
6) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7) Expose people or structures, either directly or indirectly, to a significant risk of loss, injury, or death involving wildland fires?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Impact HAZ-1: The project would not create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials. **(Less than Significant Impact)**

Construction, operation, and maintenance of the park improvements recommended in the Master Plan Update would not result in hazardous materials routinely being transported, used, or disposed of in quantities that would result in a significant hazard to the public. Construction activities would use hazardous materials, including fuels, oils, solvents, paints, and other building materials. Similar to existing conditions, operation and maintenance of the planned park improvements may include the use of maintenance and landscaping chemicals in small quantities. During construction and operation, all hazardous material use and storage would be required to comply with federal, state, and local requirements. For these reasons, the limited use and storage of hazardous materials during construction and operation under the Master Plan Update would not pose a significant risk to the public or environment. **(Less than Significant Impact)**

Impact HAZ-2: The project would not create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment. **(Less than Significant Impact)**

Construction

Construction of the planned improvements recommended in the Master Plan Update are not expected to encounter hazardous materials because they would occur at existing developed parks and require relatively minor excavation and grading activities. Construction would use hazardous materials, including fuels, oils, solvents, paints, and other building materials. These materials would be stored and used in relatively small quantities, in compliance with local and state safety requirements. Additionally, all park improvement projects would be required to comply with General Plan Action SA-5a which requires that applications for discretionary development projects provide detailed information regarding the potential for hazardous materials on the site and, if warranted, identify and require mitigation measures to reduce exposure to hazardous materials to acceptable levels. All individual park projects would be required to implement all applicable General Plan policies and comply with applicable federal, state (e.g., Title 14 of the California Code of Regulations), and local regulations reduce potential hazardous materials impacts to adjacent uses. For these reasons,

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construction would not create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment. **(Less than Significant Impact)**

Operation

Similar to existing conditions, operation and maintenance of the planned park improvements may include the use of maintenance and landscaping chemicals in small quantities. During operation, all hazardous material use and storage would be required to comply with federal, state, and local requirements. Such use as part of the project operation would not cause a hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment. **(Less than Significant Impact)**

Impact HAZ-3: The project would not emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school. **(Less than Significant Impact)**

A total of 18 parks are located within one-quarter mile of an existing or proposed school which include Foothill Park, Hall Memorial Park, McCandless Park, Murphy Park, Pecot Park, Pinewood Park, Robert E. Browne Park, Sinnott Park, Starlite Park, Cardoza Park, Milpitas Sports Center, Ben Rodgers Park, Sunnyhills Albert Augustine Memorial Park, Jose Higuera Adobe Park, Strickroth Park, Sandalwood Park, Evergreen Park, and Hillcrest Park. As mentioned previously, operation and maintenance of the planned park improvements would not use or store hazardous materials in sufficient quantities to pose a health risk to any nearby school. All hazardous materials would be handled in accordance with federal, state, and local requirements, which would limit the potential for a project to expose nearby uses, including schools, to hazardous emissions or an accidental release. Therefore, the proposed planned improvements recommended in the Master Plan Update would not present a risk to any nearby school. **(Less than Significant Impact)**

Impact HAZ-4: The project would not be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, create a significant hazard to the public or the environment. **(Less than Significant Impact)**

The planned improvements recommended in the Master Plan Update would occur at existing developed parks. None of the existing parks within the City are included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5. Therefore, the planned improvements recommended in the Master Plan Update would not create a significant hazard to the public and/or environment. **(Less than Significant Impact)**

Impact HAZ-5: The project is located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport. The project would not result in a safety hazard or excessive noise for people residing or working in the project area. **(Less than Significant Impact)**

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The Norman Y. Mineta San José International Airport is located approximately two miles south of the City. As mentioned previously, the City is not located within the Norman Y. Mineta San José International Airport CLUP-defined safety zone. Therefore, the planned improvements recommended in the Master Plan Update would not result in a substantial safety hazard for people residing or working in any of the project areas. **(Less than Significant Impact)**

Impact HAZ-6: The project would not impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan. **(Less than Significant Impact)**

The planned improvements recommended in the Master Plan Update would be constructed in accordance with current building and fire codes and would be required to be maintained in accordance with applicable City policies identified in the City's General Plan. For these reasons, the planned park improvements would not physically interfere with an adopted emergency response or evacuation plans. **(Less than Significant Impact)**

Impact HAZ-7: The project would not expose people or structures, either directly or indirectly, to a significant risk of loss, injury, or death involving wildland fires. **(Less than Significant Impact)**

While the City of Milpitas is not categorized as being in a Very High Fire Severity zone by CalFire, the hillside areas located east of the City are designated as High and Moderate Fire Severity zones by CalFire. Consistent with the General Plan, all planned improvements recommended in the Master Plan Update would be constructed and maintained in accordance with federal, state, and local wildland fire hazards requirements. For these reasons, the planned park improvements would not expose people or structures to risk from wildland fires. **(Less than Significant Impact)**

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4.10 HYDROLOGY AND WATER QUALITY

4.10.1 Environmental Setting

4.10.1.1 *Regulatory Framework*

The Federal Clean Water Act and California's Porter-Cologne Water Quality Control Act are the primary laws related to water quality in California. Regulations set forth by the EPA and the SWRCB have been developed to fulfill the requirements of this legislation. EPA regulations include the National Pollutant Discharge Elimination System (NPDES) permit program, which controls sources that discharge pollutants into the waters of the United States (e.g., streams, lakes, bays, etc.). These regulations are implemented at the regional level by the Regional Water Quality Control Boards (RWQCBs). The City is within the jurisdiction of the San Francisco Bay RWQCB.

Federal and State

National Flood Insurance Program

The Federal Emergency Management Agency (FEMA) established the National Flood Insurance Program (NFIP) to reduce impacts of flooding on private and public properties. The program provides subsidized flood insurance to communities that comply with FEMA regulations protecting development in floodplains. As part of the program, FEMA publishes Flood Insurance Rate Maps (FIRMs) that identify Special Flood Hazard Areas (SFHAs). An SFHA is an area that would be inundated by the one-percent annual chance flood, which is also referred to as the base flood or 100-year flood.

Statewide Construction General Permit

The SWRCB has implemented an NPDES General Construction Permit for the State of California (Construction General Permit). For projects disturbing one acre or more of soil, a Notice of Intent (NOI) must be filed with the RWQCB by the project sponsor, and a Storm Water Pollution Prevention Plan (SWPPP) must be prepared by a qualified professional prior to commencement of construction and filed with the RWQCB by the project sponsor. The Construction General Permit includes requirements for training, inspections, record keeping, and, for projects of certain risk levels, monitoring. The general purpose of the requirements is to minimize the discharge of pollutants and to protect beneficial uses and receiving waters from the adverse effects of construction-related storm water discharges.

Regional

San Francisco Bay Basin Plan

The San Francisco Bay RWQCB regulates water quality in accordance with the Water Quality Control Plan for the San Francisco Bay Basin (Basin Plan). The Basin Plan lists the beneficial uses that the San Francisco Bay RWQCB has identified for local aquifers, streams, marshes, rivers, and the San Francisco Bay, as well as the water quality objectives and criteria that must be met to protect these uses. The San Francisco Bay RWQCB implements the Basin Plan by issuing and enforcing waste discharge requirements, including permits for nonpoint sources such as the urban runoff

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discharged by a City's stormwater drainage system. The Basin Plan also describes watershed management programs and water quality attainment strategies.

Municipal Regional Permit Provision C.3.

The San Francisco Bay RWQCB re-issued the Municipal Regional Stormwater NPDES Permit (MRP) in 2015 to regulate stormwater discharges from municipalities and local agencies (co-permittees) in Alameda, Contra Costa, San Mateo, and Santa Clara Counties, and the cities of Fairfield, Suisun City, and Vallejo.⁴¹ Under Provision C.3 of the MRP, new and redevelopment projects that create or replace 10,000 square feet or more of impervious surface area are required to implement site design, source control, and Low Impact Development (LID)-based stormwater treatment controls to treat post-construction stormwater runoff. LID-based treatment controls are intended to maintain or restore the site's natural hydrologic functions, maximizing opportunities for infiltration and evapotranspiration, and using stormwater as a resource (e.g., rainwater harvesting for non-potable uses). The MRP also requires that stormwater treatment measures are properly installed, operated, and maintained.

In addition to water quality controls, the MRP requires new development and redevelopment projects that create or replace one acre or more of impervious surface to manage development-related increases in peak runoff flow, volume, and duration, where such hydromodification is likely to cause increased erosion, silt pollutant generation, or other impacts to local rivers, streams, and creeks. Projects may be deemed exempt from these requirements if they do not meet the minimized size threshold, drain into tidally influenced areas or directly into the Bay, or drain into hardened channels, or if they are infill projects in subwatersheds or catchment areas that are greater than or equal to 65 percent impervious.

Water Resources Protection Ordinance and District Well Ordinance

Valley Water operates as the flood control agency for Santa Clara County. Their stewardship also includes creek restoration, pollution prevention efforts, and groundwater recharge. Permits for well construction and destruction work, most exploratory boring for groundwater exploration, and projects within Valley Water property or easements are required under Valley Water's Water Resources Protection Ordinance and District Well Ordinance.

Local

City of Milpitas Stormwater Regulations

To comply with Provision C.3 of the MRP, projects are required to submit a Stormwater Management Plan (SWMP) with building plans, to be reviewed and approved by the City of Milpitas's Public Works Department. The SWMP must be prepared under the direction of and certified by a licensed and qualified professional, which includes civil engineers, architects, or landscape architects. Conditions of approval for development projects include the installation and maintenance of Best Management Practices (BMPs) for site design and stormwater treatment, which must be designed per approved numeric sizing criteria.

⁴¹ MRP Number CAS612008

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City of Milpitas Municipal Code

Chapter 15 of the City's Municipal Code includes regulations to minimize public and private losses due to flood hazard areas of the City being subject to inundation. Chapter 16 of the City's Municipal Code ensures consistency with federal and state law requirements related to stormwater and urban runoff pollution control.

Milpitas General Plan

The following policies in the City's General Plan have been adopted for the purpose of reducing or avoiding impacts related to hydrology and water quality and are applicable to the Master Plan Update.

General Plan Policies - Hydrology and Water Quality	
SA 2-3	Require all development projects to demonstrate how storm water runoff will be detained or retained on-site, treated, and/or conveyed to the nearest drainage facility as part of the development review process. Project applicants shall demonstrate that project implementation would not result in increases in the peak flow runoff to adjacent lands or drainage facilities that would exceed the design capacity of the drainage facility or result in an increased potential for offsite flooding.
SA 2-5	Unless otherwise mitigated, require new structures to be located outside of the 100- year floodplain. All new development within an identified Flood Hazard Area shall be built according to Federal Emergency Management Agency standards and comply with the provisions for flood hazard reduction criteria (Milpitas Municipal Code Section XI-15-5).
UCS 1-2	Require development and long-term planning projects to be consistent with all applicable City infrastructure plans, including the Water Master Plan, Urban Water Management Plan (UWMP), the Sewer Master Plan, the Sewer System Management Plan, the Green Infrastructure Plan, and the Capital Improvement Program.
UCS 1-3	Require all future development projects to analyze their infrastructure and service impacts and either demonstrate that the City's existing infrastructure, public services, and utilities can accommodate the increased demand for services, and that service levels for existing users will not be diminished or impaired, or make the necessary improvements to mitigate all potential impacts.
UCS 4-2	Require all development projects to demonstrate how storm water runoff will be detained or retained on-site and/or conveyed to the nearest drainage facility as part of the development review process and as required by the San Francisco Bay Region Municipal Regional Stormwater National Pollutant Discharge Elimination System (NPDES) Permit.
UCS 4-3	Require all future development projects to analyze their drainage and stormwater conveyance impacts and either demonstrate that the City's existing infrastructure can accommodate increased stormwater flows, or make the necessary improvements to mitigate all potential impact
UCS 4-4	Applicable projects shall incorporate Best Management Practices (BMPs) and Low Impact Development measures (LID) to treat stormwater before discharge from the site. The facilities shall be sized to meet regulatory requirements.

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General Plan Policies - Hydrology and Water Quality	
UCS 4-6	Applicable projects shall minimize directly connected impervious areas by limiting the overall coverage of paving and roofs, directing runoff from impervious areas to adjacent pervious areas, and selecting permeable pavements and surface treatments.
UCS 4-14	Construction sites shall incorporate measures to control erosion, sedimentation, and the generation of runoff pollutants to the maximum extent practicable. The design, scope and location of grading and related activities shall be designed to cause minimum disturbance to terrain and natural features. (Title II, Chapter 13 of the Municipal Code).
UCS 4-15	Minimize the use of pesticides that may affect water quality.

4.10.1.2 Existing Conditions**Storm Drainage and Water Quality**

Stormwater runoff from the City is collected in a system of 77 miles of storm drains ranging from three- to 96-inches in diameter along the City's waterways that ultimately drain to the San Francisco Bay. Within the City, Coyote Creek is listed on the Section 303(d) list of impaired water.

Flooding

Based on the City's General Plan, areas prone to flooding include Calera Creek, Los Coches Creek, Lower Penitencia Creek, Berryessa Creek, Wrigley Creek, Ford Creek, and Coyote Creek. The City contains areas subject to flooding during the 100- and 500-year storm events as well as areas of undetermined flood hazard.

Dam Failure

The City is located within the Anderson Dam, Coyote Dam, and Sandy Wool Lake Dam failure inundation hazard zones.⁴²

Seiches and Tsunamis

A seiche is the oscillation of water in an enclosed body of water such as a lake or the San Francisco Bay while a tsunami is a sea wave generated by an earthquake, landslide, or other large displacement of water in the ocean. The City of Milpitas is not located within a tsunami and seiche hazard area.⁴³

Groundwater

The planning area lies within the Santa Clara Groundwater Basin which extends from the southern edge of San Francisco Bay through the Coyote Valley. Fluctuations in the groundwater level may occur due to seasonal changes, variations in rainfall, and underground drainage patterns.

⁴² City of Milpitas. *Milpitas General Plan Final Environmental Impact Report*. November 2, 2020. Page 3.9-8.

⁴³ City of Milpitas. *Milpitas General Plan Final Environmental Impact Report*. November 2, 2020. Page 3.6-16.

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4.10.2 Impact Discussion

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
Would the project:				
1) Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2) Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would:	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
- result in substantial erosion or siltation on- or off-site;	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
- substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site;	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
- create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
- impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4) In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Impact HYD-1: The project would not violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality. **(Less than Significant Impact)**

Construction of the planned park improvements recommended in the Master Plan Update would involve excavation and grading activities at individual parks. Construction activities have the potential to result in temporary impacts to surface water quality. When disturbance to underlying soils occurs, the surface runoff that flows across the site may contain sediments that are ultimately discharged into the storm drainage system. All future development under the Master Plan Update

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would be required to comply with the NPDES Construction General Permit and/or the Municipal Regional Stormwater NPDES Permit as applicable and described above in Section 4.10.1.1, Regulatory Framework. In addition, in conformance with General Plan Policy UCS 4-14, all future construction activities under the Master Plan Update shall incorporate measures to control erosion, sedimentation, and the generation of runoff pollutants to the maximum extent practicable. Future construction activities in conformance with existing regulations and the General Plan would not result in water quality impacts. **(Less than Significant Impact)**

Impact HYD-2: The project would not substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin. **(Less than Significant Impact)**

Per the General Plan, there are no groundwater recharge ponds/facilities or instream recharge areas exist within the City. The Master Plan Update identifies improvements to existing parks. The relatively minor excavation and grading activities necessary to implement the planned improvements are not expected to encounter groundwater or otherwise substantially interfere with groundwater recharge such that groundwater management would be impeded. **(Less than Significant Impact)**

Impact HYD-3: The project would not substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would result in substantial erosion or siltation on- or off-site; substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site; create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or impede or redirect flood flows. **(Less than Significant Impact)**

The planned park improvements recommended in the Master Plan Update would increase impervious surfaces in the City compared to existing conditions by constructing community event and hangout space, parking lots, restrooms, new softball fields, sand volleyball courts, pickleball courts, a pump track, and replacing granite walking paths with new wide concrete paths. All future development under the Master Plan Update would be required to comply with the NPDES Construction General Permit and/or the Municipal Regional Stormwater NPDES Permit as applicable and described above in Section 4.10.1.1, Regulatory Framework. In addition, in conformance with General Plan Policy SA 2-3 and during the development review process, each individual park project would be required to demonstrate how: 1) storm water runoff will be detained or retained on-site, treated, and/or conveyed to the nearest drainage facility, and 2) project implementation would not result in increases in the peak flow runoff to adjacent lands or drainage facilities that would exceed the design capacity of the drainage facility or result in an increased potential for offsite flooding. Future park improvements under the Master Plan Update in conformance with existing regulations and the General Plan would not substantially alter the existing drainage patterns, result in flooding on- or off-site, create runoff water which would exceed the capacity of existing or planned stormwater drainage

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systems, generate substantial additional sources of polluted runoff, or impede or redirect flood flows. **(Less than Significant Impact)**

Impact HYD-4: The project would not risk release of pollutants due to project inundation in flood hazard, tsunami, or seiche zones. **(Less than Significant Impact)**

The City of Milpitas is not located within a tsunami and seiche hazard area, but portions of the City are located within a 100-year flood zone. The Master Plan Update identifies improvements to existing developed parks. Compared to existing conditions (i.e., existing developed parks), the planned park improvements would not increase the risk of pollutant release due to project inundation in flood hazard, tsunami, or seiche zones. **(Less than Significant Impact)**

Impact HYD-5: The project would not conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan. **(Less than Significant Impact)**

All future development under the Master Plan Update would be required to comply with the NPDES Construction General Permit and/or the Municipal Regional Stormwater NPDES Permit, as applicable, and shall incorporate measures to control erosion, sedimentation, and the generation of runoff pollutants to the maximum extent practicable in conformance with General Plan Policy UCS 4-14. The planned improvements would not require groundwater pumping or excavation below the groundwater table. For these reasons, the planned park improvements recommended in the Master Plan update would not conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan. **(Less than Significant Impact)**

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4.11 LAND USE AND PLANNING

4.11.1 Environmental Setting

4.11.1.1 *Regulatory Framework*

Local

City of Milpitas Zoning Ordinance

The Zoning Ordinance serves as an implementing tool for the General Plan by establishing detailed, parcel-specific development regulations and standards. The Zoning Ordinance divides the City of Milpitas into zoning districts to guide future land uses.

Milpitas General Plan

The following policies in the City's General Plan have been adopted for the purpose of reducing or avoiding impacts related to land use and are applicable to the project.

General Plan Policies - Land Use	
LU 5-1	Require new development and redevelopment to be compatible, complementary and, where appropriate, well integrated with existing residential areas. Integrate new large-scale development projects into the fabric of the existing community rather than allowing projects to be insular and self-contained, walled off, or physically divided from surrounding uses. Improve connectivity between neighborhoods and services with new development. Tie circulation systems and open spaces into existing streets and open spaces. Reduce unnecessary barriers and improve connections between neighborhoods and services by retrofitting existing development over time as area improvements or redevelopment occurs.

4.11.2 Impact Discussion

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
Would the project:				
1) Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2) Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Impact LU-1: The project would not physically divide an established community. (No Impact)

Examples of projects that have the potential to physically divide an established community include new freeways and highways, major arterial streets, and railroad lines. The Master Plan Update, which

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identifies improvements to existing parks, would not physically divide an established community. **(No Impact)**

Impact LU-2: The project would not cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect. **(No Impact)**

As described within the individual sections of this document, the park improvements recommended in the Master Plan Update would be implemented in accordance with existing plans, policies, and regulations and, therefore, would not result in a significant impact. For example, as discussed in Section 4.10, Hydrology and Water Quality, implementation of the recommended improvements in conformance with existing water quality regulations and General Plan policies would not result in hydrology and water quality impacts. **(No Impact)**

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4.12 MINERAL RESOURCES**4.12.1 Environmental Setting****4.12.1.1 *Regulatory Framework*****Surface Mining and Reclamation Act**

The Surface Mining and Reclamation Act (SMARA) was enacted by the California Legislature in 1975 to address the need for a continuing supply of mineral resources, and to prevent or minimize the negative impacts of surface mining to public health, property and the environment. As mandated under SMARA, the State Geologist has designated mineral land classifications in order to help identify and protect mineral resources in areas within the state subject to urban expansion or other irreversible land uses which would preclude mineral extraction. SMARA also allowed the State Mining and Geology Board (SMGB), after receiving classification information from the State Geologist, to designate lands containing mineral deposits of regional or statewide significance.

4.12.1.2 *Existing Conditions*

There are no designated mineral resource areas within the City of Milpitas.⁴⁴

4.12.1.3 *Impact Discussion*

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
Would the project:				
1) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2) Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan, or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Impact MIN-1: The project would not result in the loss of availability of a known mineral resource that would be of value to the region and residents of the state. **(No Impact)**

There are no mineral resources located within the City of Milpitas; therefore, the planned park improvements recommended in the Master Plan update would not result in impacts to known mineral resources. **(No Impact)**

⁴⁴ City of Milpitas. *Milpitas General Plan Final Environmental Impact Report*. November 2, 2020. Page 3.11-2.

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Impact MIN-2: The project would not result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan, or other land use plan. **(No Impact)**

There are no known mineral resources located within City limits; therefore, the planned park improvements recommended in the Master Plan update would not result in the loss of availability of a locally important mineral resource recovery site. **(No Impact)**

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4.13 NOISE

4.13.1 Environmental Setting

4.13.1.1 *Background Information*

Noise

Factors that influence sound as it is perceived by the human ear, include the actual level of sound, period of exposure, frequencies involved, and fluctuation in the noise level during exposure. Noise is measured on a decibel scale, which serves as an index of loudness. The zero on the decibel scale is based on the lowest sound level that the healthy, unimpaired human ear can detect. Each 10 decibel increase in sound level is perceived as approximately a doubling of loudness. Because the human ear cannot hear all pitches or frequencies, sound levels are frequently adjusted or weighted to correspond to human hearing. This adjusted unit is known as the A-weighted decibel, or dBA.

Since excessive noise levels can adversely affect human activities and human health, federal, state, and local governmental agencies have set forth criteria or planning goals to minimize or avoid these effects. Noise guidelines are generally expressed using one of several noise averaging methods, including L_{eq} , DNL, or CNEL.⁴⁵ These descriptors are used to measure a location's overall noise exposure, given that there are times when noise levels are higher (e.g., when a jet is taking off from an airport or when a leaf blower is operating) and times when noise levels are lower (e.g., during lulls in traffic flows on freeways or in the middle of the night). L_{max} is the maximum A-weighted noise level during a measurement period.

Vibration

Ground vibration consists of rapidly fluctuating motions or waves with an average motion of zero. Vibration amplitude can be quantified using Peak Particle Velocity (PPV), which is defined as the maximum instantaneous positive or negative peak of the vibration wave. PPV has been routinely used to measure and assess ground-borne construction vibration. Studies have shown that the threshold of perception for average persons is in the range of 0.008 to 0.012 inches/second (in/sec) PPV.

4.13.1.2 *Regulatory Framework*

State

California Building Standards Code

The CBC establishes uniform minimum noise insulation performance standards to protect persons within new buildings housing people, including hotels, motels, dormitories, apartments, and dwellings other than single-family residences. Title 24 mandates that interior noise levels attributable to exterior sources not exceed 45 L_{dn} /CNEL in any habitable room. Exterior windows must have a

⁴⁵ L_{eq} is a measurement of average energy level intensity of noise over a given period of time. Day-Night Level (DNL) is a 24-hour average of noise levels, with a 10 dB penalty applied to noise occurring between 10:00 PM and 7:00 AM. Community Noise Equivalent Level (CNEL) includes an additional five dB applied to noise occurring between 7:00 PM and 10:00 PM. Where traffic noise predominates, the CNEL and DNL are typically within two dBA of the peak-hour L_{eq} .

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minimum Sound Transmission Class (STC) of 40 or Outdoor-Indoor Transmission Class (OITC) of 30 when the property falls within the 65 dBA DNL noise contour for a freeway or expressway, railroad, or industrial source.

Transportation and Construction Guidance Manual

In 2013, the California Department of Transportation published a Transportation and Construction Guidance Manual. The Manual developed a synthesis of various vibration criteria to assess the damage potential for representative categories of structures and effects upon people.

The guideline criteria is summarized in Table 4.13-1 below which include seven categories. The first two categories (Categories 1 and 2) address human perceptibility of vibration only. The five remaining categories (Categories 3 through 7) address human perceptibility and potential for damage to buildings described as extremely fragile historic buildings, ruins, ancient monuments; fragile buildings; historic and some old buildings; older residential structures; new residential structures; and modern industrial/commercial buildings. Most, if not all, buildings in the downtown area would fall into Categories 5 through 7.

The goal in establishing vibration limits is to mitigate potential vibration impacts associated with demolition and construction activities to a less-than-significant level by establishing safe limits to protect structures from potential damage and to minimize vibration impacts on people and businesses.

Table 4.13-1: Construction Vibration Threshold Criteria

Category	Continuous PPV at affected building (inch/sec)	Human Reaction	Effect on Buildings
1	0.01	Barely perceptible	No effect
2	0.04	Distinctly perceptible	Vibration unlikely to cause damage of any type to any structure
3	0.08	Distinctly perceptible to strongly perceptible	Recommended upper level of the vibration to which ruins and ancient monuments should be subjected
4	0.1	Strongly perceptible	Threshold at which there is a risk of cosmetic damage to fragile buildings with no risk of cosmetic damage to most buildings
5	0.25	Strongly perceptible to severe	Threshold at which there is a risk of damage to historic and some old buildings
6	0.3	Strongly perceptible to severe	Threshold at which there is a risk of damage to older residential structures

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Table 4.13-1: Construction Vibration Threshold Criteria			
Category	Continuous PPV at affected building (inch/sec)	Human Reaction	Effect on Buildings
7	0.5	Severe - Vibrations considered unpleasant	Threshold at which there is a risk of damage to new residential and modern commercial/industrial structures
Source: Transportation and Construction Vibration Guidance Manual, California Department of Transportation, September 2013.			

LocalMilpitas General Plan

The City's General Plan includes noise compatibility guidelines for various land uses (refer to Table 3.12-8 from the City's General Plan). In addition, the following policies in the City's General Plan have been adopted for the purpose of reducing or avoiding impacts related to noise and are applicable to the Master Plan Update.

General Plan Policies – Noise and Vibration	
N 1-1	Consider the noise compatibility of existing and future development when making land use planning decisions. Require development and infrastructure projects to be consistent with the land use compatibility standards contained in Tables N-1 and N-2 to ensure acceptable noise exposure levels for existing and future development.
N 1-2	Require new development to mitigate excessive noise to the standards indicated in Tables N-1 and N-2 through best practices, including building location and orientation, building design features, placement of noise-generating equipment away from sensitive receptors, shielding of noise-generating equipment, placement of noise-tolerant features between noise sources and sensitive receptors, and use of noise-minimizing materials.
N 1-8	Require construction activities to comply with standard best practices to reduce noise exposure to adjacent sensitive receptors (see Action N 1d).
N 1-9	Implement a range of traffic control measures, including but not limited to, light timing, asphalt alternatives (such as rubberized asphalt), and speed reduction measures to reduce roadway noise.

4.13.1.3 Existing Conditions

The existing noise environment in the City results primarily from vehicular traffic and railroad operation. Examples of fixed noise sources in the City include parking lots, loading docks, parks, schools, and mechanical equipment (e.g., HVAC, exhaust fans, etc.).

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4.13.2

Impact Discussion

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
Would the project result in:				
1) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2) Generation of excessive groundborne vibration or groundborne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3) For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Impact NOI-1: The project would not result in generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies. **(Less than Significant Impact)**

Temporary Construction Noise

Construction activities generate considerable amounts of noise, especially during earthmoving activities when heavy equipment is used. Construction of the park improvements recommended in the Master Plan Update would temporarily increase ambient noise levels. Construction noise impacts depend upon the noise generated by various pieces of construction equipment, the timing and duration of noise-generating activities, and the distance between construction noise sources and sensitive receptors. The highest noise levels would be generated during demolition and grading activities. In accordance with General Plan Policy N 1-8, construction activities would be required to implement standard best practices to reduce noise exposure to adjacent sensitive receptors. Therefore, construction of the recommended park improvements would not generate a substantial temporary increase in ambient noise levels. **(Less than Significant Impact)**

Permanent Noise

The Master Plan Update recommends improvements to existing City parks. The improvements range from maintenance of existing park landscaping to the addition of new park amenities such as outdoor community event space and sports fields. The Master Plan Update does not identify or recommend construction of new parks within the City; the operation of which could result in a substantial ambient noise level increase. Operation of all recommended park improvements would be required to

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conform to the City's noise standards and applicable General Plan policies. This includes, but is not limited to General Plan Policy N 1-1, which requires development and infrastructure projects to be consistent with the General Plan land use compatibility standards. For these reasons, operation of the recommended park improvements in the Master Plan Update would not generate a substantial permanent increase in ambient noise levels. **(Less than Significant Impact)**

Impact NOI-2: The project would not result in generation of excessive groundborne vibration or groundborne noise levels. **(Less than Significant Impact)**

The improvements (e.g., pathways, play features, sport fields, and event space) recommended in the Master Plan Update would require relatively minor demolition and construction activities. Construction techniques and equipment that causes excessive vibration, such as pile driving and vibratory rollers, would not be used. Operation of the park improvements would not generate groundborne vibration or noise levels. For these reasons, implementation of the Master Plan Update would not generate excessive groundborne vibration or noise levels. **(Less than Significant Impact)**

Impact NOI-3: The project is located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport. The project would not expose people residing or working in the project area to excessive noise levels. **(Less than Significant Impact)**

The Norman Y. Mineta San José International Airport is located approximately two miles south of the City. The City is not within the 60 dBA CNEL contour line of the Norman Y. Mineta San José International Airport.⁴⁶ Therefore, implementation of the Master Plan Update would not expose people residing or working in the project area to excessive noise levels. **(Less than Significant Impact)**

⁴⁶ Santa Clara County Airport Land Use Commission. *Comprehensive Land Use Plan for Norman Y Mineta San José International Airport*. November 16, 2016.

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4.14 POPULATION AND HOUSING

4.14.1 Environmental Setting

4.14.1.1 *Regulatory Framework*

State

Housing-Element Law

State requirements mandating that housing be included as an element of each jurisdiction's general plan is known as housing-element law. The Regional Housing Need Allocation (RHNA) is the state-mandated process to identify the total number of housing units (by affordability level) that each jurisdiction must accommodate in its housing element. California housing-element law requires cities to: 1) zone adequate lands to accommodate its RHNA; 2) produce an inventory of sites that can accommodate its share of the RHNA; 3) identify governmental and non-governmental constraints to residential development; 4) develop strategies and a work plan to mitigate or eliminate those constraints; and 5) adopt a housing element and update it on a regular basis.⁴⁷ The City of Milpitas Housing Element and related land use policies were last updated in 2015.

Regional and Local

Plan Bay Area 2040

Plan Bay Area 2040 is a long-range transportation, land-use, and housing plan intended support a growing economy, provide more housing and transportation choices, and reduce transportation-related pollution and GHG emissions in the Bay Area. Plan Bay Area 2040 promotes compact, mixed-use residential and commercial neighborhoods near transit, particularly within identified Priority Development Areas (PDAs).

ABAG allocates regional housing needs to each city and county within the nine-county San Francisco Bay Area, based on statewide goals. ABAG also develops forecasts for population, households, and economic activity in the Bay Area. ABAG, MTC, and local jurisdiction planning staff created the Regional Forecast of Jobs, Population, and Housing, which is an integrated land use and transportation plan through the year 2040 (upon which Plan Bay Area 2040 is based).

4.14.1.2 *Existing Conditions*

The population of Milpitas was estimated to be approximately 77,961 in January 2020 and is expected to increase to 103,970 by 2040.^{48,49}

⁴⁷ California Department of Housing and Community Development. "Regional Housing Needs Allocation and Housing Elements." Accessed April 13, 2021. <http://hcd.ca.gov/community-development/housing-element/index.shtml>.

⁴⁸ State of California, Department of Finance. "E-5 Population and Housing Estimates for Cities, Counties, and the State, 2011-2020." Accessed April 13, 2021. <https://www.dof.ca.gov/Forecasting/Demographics/Estimates/e-5/>.

⁴⁹ Association Of Bay Area Governments And Metropolitan Transportation Commission. "Projections 2040: Forecasts for Population, Household and Employment for the Nine County San Francisco Bay Area Region." 2017. Accessed April 13, 2021. <http://projections.planbayarea.org/data>.

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4.14.2 Impact Discussion

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
Would the project:				
1) Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2) Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Impact POP-1: The project would not induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure). **(No Impact)**

The Master Plan Update recommends improvements to existing City parks. Implementation of the Master Plan Update would not result in the construction of new residences or businesses or extension of roads or other infrastructure. For these reasons, the Master Plan Update would not induce substantial unplanned population growth in the City. **(No Impact)**

Impact POP-2: The project would not displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere. **(No Impact)**

The Master Plan Update recommends improvements to existing City parks. Implementation of the Master Plan Update would not displace people or housing. **(No Impact)**

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4.15 PUBLIC SERVICES

4.15.1 Environmental Setting

4.15.1.1 *Regulatory Framework*

Regional and Local

Countywide Trails Master Plan

The Santa Clara County Trails Master Plan Update is a regional trails plan approved by the Santa Clara County Board of Supervisors. It provides a framework for implementing the County's vision of providing a contiguous trail network that connects cities to one another, cities to the county's regional open space resources, County parks to other County parks, and the northern and southern urbanized regions of the County. The plan also identifies regional trail routes, sub-regional trail routes, connector trail routes, and historic trails.

Milpitas Trails Master Plan

The Trails Master Plan, adopted in 1997, describes and maps the trail corridors recommended for inclusion in the General Plan. The Trails Master Plan categorizes the City's trails into four groups: Regional Trails, City Trails, Neighborhood Trails, and On-Street Connectors. The Trails Master Plan also makes several recommendations to facilitate the implementation of the Plan, including: adoption of the Milpitas Trails Master Plan Report, incorporation of the findings into the Circulation Element of the General Plan and associated environmental clearance documents, include top priority trail projects in the Capital Improvement Program, develop a Berryessa Creek Trail funding strategy to identify external grant fund sources, and pursue external grant funds identified in the funding strategy. The goals of the plan are to:

- Identify potential trail routes for commuter and recreational use which integrate with and provide benefit to the creek corridors, schools, businesses, parks and local citizens.
- Provide staging areas and use existing facilities for such staging areas whenever possible.
- Maximize linkages to other trail and bikeway systems to provide alternative transportation routes for pedestrians, bicycles and joggers.
- Respect the property rights of adjacent landowners and be good neighbors.
- Preserve and restore the natural environment of the creek corridors.
- Coordinate, cooperate and involve all stakeholders along the trail corridors including schools, parks, businesses, agencies, trail users, citizens and adjacent neighbors to maximize public involvement, support and ownership of the trails.
- Provide alternative transportation routes.
- Establish the character and usage for the trails.
- Provide solutions that maximize the technical, recreational, aesthetic and land use potential for the trail network.
- Prepare a long range development plan for the trail network, consistent with a regional trail concept that considers both active and passive recreation.

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Milpitas Park and Recreation Master Plan

The City adopted the Milpitas Park and Recreation Master Plan in 2009 which analyzed existing park conditions and recommended improvements to each of the City's 33 parks.

Milpitas General Plan

The following policies in the City's General Plan have been adopted for the purpose of reducing or avoiding impacts related to public facilities and services and are applicable to the Master Plan Update.

General Plan Policies - Public Facilities and Services	
PROS 1-1	Provide a park and recreation system that is equitably distributed, safe, accessible, and designed to serve the needs of all residents of the community.
PROS 1-2	Develop and maintain a high-quality system of parks, trails, and recreation facilities to create diverse opportunities for passive and organized recreation.
PROS 1-3	Achieve and maintain a minimum overall citywide ratio of 5 acres of park land for every 1,000 residents outside of the Midtown Specific Plan Area and Transit Area Specific Plan Area. Within these Specific Plan Areas, achieve and maintain the parks standards and ratios specified in the specific plan, with an emphasis on publicly-accessible spaces and facilities.
PROS 1-7	Design parks to enhance public safety by providing visibility of all areas both to and from the street, adequate lighting, and access for public safety responders.
PROS 1-8	Expand, renovate, and maintain high quality recreation facilities, programs, and services to accommodate existing and future needs; encourage traditional and non-traditional recreation; and support active and passive recreation, wellness, historic assets, cultural arts, environmental education, conservation, accessibility, inclusion, diversity, safety, and new technology that equitably serves the most vulnerable populations of the community
PROS 1-9	Prioritize funding and City resources to improve the condition, maintenance, and upkeep of existing City parks and recreational facilities.
PROS 1-12	Encourage and support the expansion of an integrated trail network that connects users to neighboring local and regional trail systems and to community amenities such as schools, open space areas, park and recreation facilities, commercial and job centers and residential areas to encourage both recreational and utilitarian travel.
PROS 1-15	Design and maintain park and recreation facilities to minimize water, energy and chemical (e.g., pesticides and fertilizer) use. Incorporate the use of recycled water, native and/or drought-resistant vegetation and ground cover where appropriate. Pursue opportunities for multi-beneficial park developments that incorporate flood control facilities, stormwater management and groundwater recharge areas.

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4.15.1.2 Existing Conditions

Fire Protection Services

Fire protection services in the City are provided by the Milpitas Fire Department. The Milpitas Fire Department currently operates four fire stations. The City's goal is a response time of four minutes or less for all urban service areas.

Police Protection Services

Police protection services for the City are provided by the Milpitas Police Department. The Milpitas Police Department currently operates one police station. The City's goal for response time for in-progress emergency calls is three minutes.

Schools

The City of Milpitas is served by the Milpitas Unified School District (MUSD). MUSD is comprised of 10 elementary schools, two middle schools, and two high schools.

Parks/Recreation

Parks, trails, and recreational facilities are managed by the City's Recreation and Community Services Department and maintained by the Public Works Department. The City of Milpitas categorizes each park into seven categories: Community Parks, Neighborhood Parks, Special-use Parks, Urban Parks, Linear Parks, Regional Parks and Private Recreation Facilities.

Library

The Milpitas Public Library is the only public library in the City.

4.15.2 Impact Discussion

Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times, or other performance objectives for any of the public services:

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
1) Fire Protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2) Police Protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3) Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4) Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5) Other Public Facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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Impact PS-1: The project would not result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times, or other performance objectives for fire protection services. **(Less than Significant Impact)**

The Master Plan Update recommends improvements to existing parks, which are currently served by the Milpitas Fire Department. Prior to implementation, the park improvements would be reviewed by the Milpitas Fire Department to ensure appropriate safety features are incorporated to reduce fire hazards. Many of the recommended improvements (e.g., bathrooms and stairs built to current code, removal of tree hazards, improved walkways, and pedestrian lighting) would reduce demand upon Milpitas Fire Department fire protection and emergency services. For these reasons, implementation of the Master Plan Update would not require construction of new fire facilities. **(Less than Significant Impact)**

Impact PS-2: The project would not result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times, or other performance objectives for police protection services. **(Less than Significant Impact)**

The Master Plan Update recommends improvements to existing parks, which are currently served by the Milpitas Police Department. Prior to implementation, the park improvements would be reviewed by the Milpitas Police Department to ensure design does not promote criminal activity. Many of the recommended improvements (e.g., pedestrian lighting and maintained landscaping) could help reduce criminal activity. For these reasons, implementation of the Master Plan Update would not require construction of new police facilities. **(Less than Significant Impact)**

Impact PS-3: The project would not result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times, or other performance objectives for schools. **(No Impact)**

The Master Plan Update recommends improvements to existing parks. Unlike new housing, park improvements do not generate new students. Therefore, the Master Plan Update would not require construction of new school facilities. **(No Impact)**

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Impact PS-4: The project would not result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times, or other performance objectives for parks. **(No Impact)**

Implementation of the Master Plan Update would improve the City's existing parks. The Master Plan Update would not require construction of new park facilities. **(No Impact)**

Impact PS-5: The project would not result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times, or other performance objectives for other public facilities. **(No Impact)**

Implementation of the Master Plan Update would improve the City's existing parks. Park improvements would not increase demand upon other public facilities, such as libraries and community centers. The Master Plan Update would not require construction of other public facilities. **(No Impact)**

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4.16 RECREATION

4.16.1 Environmental Setting

4.16.1.1 *Regulatory Framework*

State

Government Code Section 66477

The Quimby Act (included within Government Code Section 66477) requires local governments to set aside parkland and open space for recreational purposes. It provides provisions for the dedication of parkland and/or payment of fees in lieu of parkland dedication to help mitigate the impacts from new residential developments. The Quimby Act authorizes local governments to establish ordinances requiring developers of new residential subdivisions to dedicate parks, pay a fee in lieu of parkland dedication, or perform a combination of the two.

Local

Milpitas Development Impact Fee Program

The City of Milpitas Development Impact Fee Program (refer to Chapter 4 of the City's Municipal Code) charges development impact fees to pay for the City's future construction of facilities or to reimburse the City for listed facilities construction by the City with funds advanced by the City from other sources.

Milpitas Bikeways Master Plan

The Bikeways Master Plan provides a broad vision, strategies, and actions for the improvements of bicycling in Milpitas. The Master Plan categorizes the City's bikeways into three groups: Bike Paths, Bike Lanes, and Bike Routes. The Bikeways Master Plan includes:

- Goals, objectives, and benchmarks for bicycling
- A review of existing bicycling conditions
- Descriptions of Relevant Local and Regional Plans and Policies related to Bicycling
- An analysis of bicycling needs
- Recommended Bicycling Projects, Cost Estimates, and Priorities for implementation
- Recommended Bicycling Programs
- Funding Sources for Bicycle Projects and Programs
- Design Guidelines with best practices for implementing bikeways

Trail, Pedestrian, and Bicycle Master Plan

The Trail, Pedestrian, and Bicycle Master Plan (formerly known as Trails Master Plan) was adopted in 1997 which describes and maps the trail corridors recommended for inclusion in the General Plan. This plan is currently being updated and expected to be completed in 2021.

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Milpitas General Plan

The following policies in the City's General Plan have been adopted for the purpose of reducing or avoiding impacts related to recreation and are applicable to the Master Plan Update.

General Plan Policies - Recreation	
PROS 1-1	Provide a park and recreation system that is equitably distributed, safe, accessible, and designed to serve the needs of all residents of the community.
PROS 1-2	Develop and maintain a high-quality system of parks, trails, and recreation facilities to create diverse opportunities for passive and organized recreation.
PROS 1-3	Achieve and maintain a minimum overall citywide ratio of 5 acres of park land for every 1,000 residents outside of the Midtown Specific Plan Area and Transit Area Specific Plan Area. Within these Specific Plan Areas, achieve and maintain the parks standards and ratios specified in the specific plan, with an emphasis on publicly-accessible spaces and facilities.
PROS 1-1	<p>Park land acreage dedications and/or equivalent in-lieu fees shall be required for new development in accordance with the following standards:</p> <ul style="list-style-type: none"> For areas outside of a Specific Plan, require land dedication or in lieu fees equivalent to the 5 acre/1,000 resident standard, but allow credit for private recreation space for up to 2 acres/1,000 residents for private open space. Private recreation credit will be given at the discretion of the City and pursuant to the criteria specified in the City's Subdivision Regulations (Title XI, Chapter 1, Section 9.08 of the Milpitas Municipal Code). For areas within a Specific Plan, require land dedication or in-lieu fees equivalent to the park land standard established in the relevant Specific Plan, allowing credit for private recreation space for up to 1.5 acres/1,000 residents for private recreation space. Private recreation credit will be given at the discretion of the City and pursuant to the criteria specified in the City's Subdivision Regulations (Title XI, Chapter 1, Section 9.08 of the Milpitas Municipal Code).
PROS 1-7	Design parks to enhance public safety by providing visibility of all areas both to and from the street, adequate lighting, and access for public safety responders.
PROS 1-8	Expand, renovate, and maintain high quality recreation facilities, programs, and services to accommodate existing and future needs; encourage traditional and non-traditional recreation; and support active and passive recreation, wellness, historic assets, cultural arts, environmental education, conservation, accessibility, inclusion, diversity, safety, and new technology that equitably serves the most vulnerable populations of the community.
PROS 1-10	Require publicly-accessible parks and recreational facilities that are owned and operated by homeowner's associates (HOAs) and special assessment districts to be maintained in a safe and aesthetically-pleasing manner.
PROS 1-13	Require new development to provide direct pedestrian connections, such as sidewalks, trails, wayfinding measures and other rights-of-way and infrastructure improvements to the existing and planned network of parks and trails wherever feasible.

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General Plan Policies - Recreation	
PROS 1-15	Design and maintain park and recreation facilities to minimize water, energy and chemical (e.g., pesticides and fertilizer) use. Incorporate the use of recycled water, native and/or drought-resistant vegetation and ground cover where appropriate. Pursue opportunities for multi-beneficial park developments that incorporate flood control facilities, stormwater management and groundwater recharge areas.

4.16.1.2 Existing Conditions

Parks, trails, and recreational facilities in the City are managed by the Recreation and Community Services Department and maintained by the Public Works Department. The City park system currently consists of over 36 parks, several miles of trails, and six community service buildings.

4.16.2 Impact Discussion

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
1) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Impact REC-1: The project would not increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated. **(No Impact)**

Unlike residential development, which can result in or accelerate physical deterioration of existing recreational facilities due to increased use, the Master Plan Update would improve and offset physical deterioration the City's existing parks. **(No Impact)**

Impact REC-2: The project does not include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment. **(No Impact)**

Unlike residential development, which can include or require the construction of recreational facilities to offset the demand upon existing parks generated by the residential development, the Master Plan Update would improve existing parks and reduce the need to construct or expand recreational facilities. **(No Impact)**

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4.17 TRANSPORTATION

4.17.1 Environmental Setting

4.17.1.1 *Regulatory Framework*

State

Regional Transportation Plan

MTC is the transportation planning, coordinating, and financing agency for the nine-county San Francisco Bay Area, including Santa Clara County. MTC is charged with regularly updating the Regional Transportation Plan, a comprehensive blueprint for the development of mass transit, highway, airport, seaport, railroad, bicycle, and pedestrian facilities in the region. MTC and ABAG adopted Plan Bay Area 2040 in July 2017, which includes a Regional Transportation Plan to guide regional transportation investment for revenues from federal, state, regional and local sources through 2040.

Senate Bill 743

SB 743 establishes criteria for determining the significance of transportation impacts using a vehicle miles traveled (VMT) metric intended to promote the reduction of GHG emissions, the development of multimodal transportation networks, and a diversity of land uses. Specifically, SB 743 requires analysis of VMT in determining the significance of transportation impacts. Local jurisdictions were required by Governor's Office of Planning and Research (OPR) to implement a VMT policy by July 1, 2020.

SB 743 did not authorize OPR to set specific VMT impact thresholds, but it did direct OPR to develop guidelines for jurisdictions to utilize. CEQA Guidelines Section 15064.3(b)(1) describes factors that might indicate whether a development project's VMT may be significant. Notably, projects located within 0.50 mile of transit should be considered to have a less than significant transportation impact based on OPR guidance.

Regional

Congestion Management Program

VTA oversees the Congestion Management Program (CMP), which is aimed at reducing regional traffic congestion. The relevant state legislation requires that urbanized counties in California prepare a CMP in order to obtain each county's share of gas tax revenues. State legislation requires that each CMP define traffic LOS standards, transit service standards, a trip reduction and transportation demand management plan, a land use impact analysis program, and a capital improvement element. VTA has review responsibility for proposed development projects that are expected to affect CMP-designated intersections.

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Local

Milpitas General Plan

The following policies in the City's General Plan have been adopted for the purpose of reducing or avoiding impacts related to transportation and are applicable to the Master Plan Update.

General Plan Policies – Transportation	
CIR 4-5	Support building bridges or under-crossings across creek channels, railroad lines and roadways in a manner that will enhance safety, improve network connectivity, and facilitate bicycling and walking between high density residential developments, retail centers, civic buildings, and recreational centers
CIR 4-10	Work and promote an active lifestyle that encourages walking, bicycling, and utilizing the trail network to support public health while reducing greenhouse gas emissions and other air pollutants.

4.17.1.2 Existing Conditions

Roadway Network

Federal Highways

Caltrans operates and maintains two federal highways that passes through Milpitas.

Interstate 680 (I-680) is a primary route that connects the City of San José to Interstate 80 (I-80). It has at least three lanes per direction through Milpitas. A high-occupancy toll lane is present in the southbound direction for most of I-680 in Milpitas.

Interstate 880 (I-880) is a primary route that connects the City of San José to I-80 through the Cities of Milpitas, Fremont, Hayward, and Oakland. I-880 has at least four lanes (one high-occupancy vehicle [HOV] and three general purpose) per direction through Milpitas.

State Highways

Caltrans operates and maintains one state highway that passes through Milpitas.

State Route 237 (SR 237) runs through Milpitas and connects I-680 to I-880 then continues to US 101 in Mountain View. Between I-680 to I-880, SR 237 is a six-lane arterial street.

County Expressways

Santa Clara County operates and maintains one expressway that passes through Milpitas.

Montague Expressway is a major east-west route in Santa Clara County that connects US-101 and San Tomas Expressway to McCarthy Boulevard, I-880, Great Mall Parkway/East Capitol Avenue, and I-680 in Milpitas.

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Local Arterial Streets

Abel Street is an arterial that connects North Milpitas Avenue, West Calaveras Boulevard/SR-237, the Great Mall Parkway, and South Main Street. It turns into Jacklin Road east of North Milpitas Avenue.

Dixon Landing Road is an arterial in northern Milpitas that connects North McCarthy Boulevard and I-880 to North Milpitas Boulevard and the surrounding neighborhoods.

East Capitol Avenue is an arterial in southern Milpitas between the Montague Expressway and Milpitas-San José city limit. It turns into the Great Mall Parkway west of the Montague Expressway, and into North Capitol Avenue east of Milpitas.

East Tasman Drive is an arterial that extends west from I-880 and connects with McCarthy Road and continuing through Santa Clara and Sunnyvale. It becomes the Great Mall Parkway east of I-880.

Great Mall Parkway is a major east-west arterial that connects I-880 to South Abel Street, South Main Street, the Montague Expressway, and the Great Mall. It turns into East Tasman Drive west of I-880, and into East Capitol Avenue east of the Montague Expressway.

Jacklin Road is an arterial that connects I-680 to North Park Victoria Drive, Escuela Parkway, and North Milpitas Boulevard. It turns into North Abel Street west of North Milpitas Boulevard.

McCarthy Boulevard is an arterial on the west side of the City that connects Montague Expressway to East Tasman Avenue/Great Mall Parkway, West Calaveras/SR-237, and Dixon Landing Road.

Milpitas Boulevard is a north-south arterial that bisects both I-880 and I-680. It connects the Montague Expressway to Yosemite Drive, East Calaveras Street/SR-237, Escuela Parkway, Jacklin Road, and Dixon Landing.

Park Victoria Drive is a north-south arterial between Landess Road and Jacklin Road, and a collector north of Jacklin Road.

4.17.2 Impact Discussion

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
Would the project:				
1) Conflict with a program, plan, ordinance, or policy addressing the circulation system, including transit, roadways, bicycle lanes, and pedestrian facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2) Conflict or be inconsistent with CEQA Guidelines Section 15064.3, subdivision (b)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
Would the project:				
3) Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4) Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Impact TRN-1: The project would not conflict with a program, plan, ordinance, or policy addressing the circulation system, including transit, roadways, bicycle lanes, and pedestrian facilities. **(Less than Significant Impact)**

The Master Plan Update recommends improvements to and within the boundaries of existing parks. Implementation of the Master Plan Update would not result in the expansion of existing parks or construction of new parks. Recommended improvements (e.g., pedestrian lighting and pavement replacement) would improve circulation within the existing parks. For these reasons, the Master Plan Update would not conflict with a program, plan, ordinance, or policy addressing the circulation system. **(Less than Significant Impact)**

Impact TRN-2: The project would not conflict or be inconsistent with CEQA Guidelines Section 15064.3, subdivision (b). **(Less than Significant Impact)**

CEQA Guidelines Section 15064.3, subdivision (a) indicates that a land use project would have a less than significant impact if the vehicle miles traveled (VMT) in the project area are expected to be less than that of existing conditions. The Master Plan Update is not a residential, commercial, and/or office land use project that could increase vehicle miles traveled. The Master Plan Update recommends improvements to and within the boundaries of existing parks. Implementation of the Master Plan Update would not result in the expansion of existing parks or construction of new parks. The recommended park improvements are intended to serve City of Milpitas residents and would reduce the need (and associated VMT) for residents to travel to recreational facilities outside the City. For these reasons, the Master Plan Update would not result in a significant VMT impact and would not conflict or be inconsistent with CEQA Guidelines Section 15064.3 subdivision (b). **(Less than Significant Impact)**

Impact TRN-3: The project would not substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment). **(Less than Significant Impact)**

The Master Plan Update recommends improvements to and within the boundaries of existing parks. The park improvements do not include new driveways or other features that could result in a transportation hazard. **(Less than Significant Impact)**

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Impact TRN-4: The project would not result in inadequate emergency access. **(Less than Significant Impact)**

The recommended park improvements in the Master Plan Update would be designed and constructed in accordance with applicable building and fire codes and, therefore, would not result in inadequate emergency access. **(Less than Significant Impact)**

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4.18 TRIBAL CULTURAL RESOURCES

4.18.1 Environmental Setting

4.18.1.1 *Regulatory Framework*

State

Assembly Bill 52

AB 52, effective July 2015, established a new category of resources for consideration by public agencies called Tribal Cultural Resources (TCRs). AB 52 requires lead agencies to provide notice of projects to tribes that are traditionally and culturally affiliated with the geographic area if they have requested to be notified. Where a project may have a significant impact on a tribal cultural resource, consultation is required until the parties agree to measures to mitigate or avoid a significant effect on a tribal cultural resource or until it is concluded that mutual agreement cannot be reached.

Under AB 52, TCRs are defined as follows:

- Sites, features, places, cultural landscapes, sacred places, and objects with cultural value to a California Native American tribe that are also either:
 - Included or determined to be eligible for inclusion in the California Register of Historic Resources, or
 - Included in a local register of historical resources as defined in Public Resources Code Section 5020.1(k).
- A resource determined by the lead agency to be a TCR.

4.18.1.2 *Existing Conditions*

Per the General Plan, no specific resources have been identified through consultation with affiliated Native American tribes. Unknown tribal cultural resources, however, could be present within the City.

On June 14, 2021, Tamien Nation sent a written request for notification of projects citywide to the City of Milpitas. The City of Milpitas notified Tamien Nation of the project on July 7, 2021 per the representative's request.

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4.18.2

Impact Discussion

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code Section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:				
1) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code Section 5020.1(k)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1? In applying the criteria set forth in subdivision (c) of Public Resources Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Impact TCR-1: The project would not cause a substantial adverse change in the significance of a tribal cultural resource that is listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code Section 5020.1(k). **(Less than Significant Impact)**

Assembly Bill 52 requires lead agencies to complete formal consultations with California Native American tribes during the CEQA process to identify tribal cultural resources that may be subject to significant impacts by a project. Where a project may have a significant impact on a tribal cultural resource, the lead agency's environmental document must discuss the impact and whether feasible alternatives or mitigation measures could avoid or substantially lessen the impact. This consultation requirement applies only if the tribes have sent written requests for notification of projects to the Lead Agency. On June 14, 2021, Tamien Nation sent a written request for notification of projects citywide to the City of Milpitas. The City of Milpitas notified Tamien Nation of the project on July 7, 2021, per the representative's request. On August 19, 2021, the City of Milpitas received a formal request for tribal consultation for the proposed Milpitas Parks and Recreation Master Plan Update.

A formal consultation with the City of Milpitas and the Tamien Nation representative occurred on August 26, 2021, which concluded the same day (refer to Appendix B for the meeting minutes). No tribal resources at the existing City parks were identified during consultation. It was agreed that no

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further action is required from the City in response to the letter dated August 19, 2021, and at the time of site-specific analysis, the City will notify Tamien Nation and follow the AB 52 process.

Although unlikely due to the developed landscape and prior ground disturbance at the existing parks, it is possible that unknown tribal cultural resources may be present and could be adversely affected during implementation of the Master Plan Update. Future park projects under the Master Plan Update would be required to comply with applicable regulations (e.g., AB 52) and City policies, ordinances, and permitting procedures related to cultural resources, including General Plan Policies CON 4-3 and 4-4. Therefore, implementation of the Master Plan Update would not cause a substantial adverse change in the significance of a tribal cultural resource that is listed or eligible for listing in state or local listings. **(Less than Significant Impact)**

Impact TCR-2: The project would not cause a substantial adverse change in the significance of a tribal cultural resource that is determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. **(Less than Significant Impact)**

As discussed above, there are no known tribal resources within the City and it is unlikely that unknown tribal cultural resources would be adversely affected during implementation of the Master Plan Update. Future park projects under the Master Plan Update in accordance with applicable regulations (e.g., AB 52) and City policies, ordinances, and applicable permitting procedures related to cultural resources, including General Plan Policies CON 4-3 and 4-4, would not cause a substantial adverse change in the significance of a tribal cultural resource. **(Less than Significant Impact)**

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4.19 UTILITIES AND SERVICE SYSTEMS

4.19.1 Environmental Setting

4.19.1.1 *Regulatory Framework*

State

State Water Code

Pursuant to the State Water Code, water suppliers providing water for municipal purposes to more than 3,000 customers or supplying more than 3,000 acre-feet (approximately 980 million gallons) of water annually must prepare and adopt an urban water management plan (UWMP) and update it every five years. As part of a UWMP, water agencies are required to evaluate and describe their water resource supplies and projected needs over a 20-year planning horizon, water conservation, water service reliability, water recycling, opportunities for water transfers, and contingency plans for drought events. The City of San José adopted its most recent UWMP in June 2016.

Assembly Bill 939

The California Integrated Waste Management Act of 1989, or AB 939, established the Integrated Waste Management Board, required the implementation of integrated waste management plans, and mandated that local jurisdictions divert at least 50 percent of solid waste generated (from 1990 levels), beginning January 1, 2000, and divert at least 75 percent by 2010. Projects that would have an adverse effect on waste diversion goals are required to include waste diversion mitigation measures.

Assembly Bill 341

AB 341 sets forth the requirements of the statewide mandatory commercial recycling program. Businesses that generate four or more cubic yards of garbage per week and multi-family dwellings with five or more units in California are required to recycle. AB 341 sets a statewide goal for 75 percent disposal reduction by the year 2020.

Senate Bill 1383

SB 1383 establishes targets to achieve a 50 percent reduction in the level of the statewide disposal of organic waste from the 2014 level by 2020 and a 75 percent reduction by 2025. The bill grants CalRecycle the regulatory authority required to achieve the organic waste disposal reduction targets and establishes an additional target that at least 20 percent of currently disposed edible food is recovered for human consumption by 2025.

California Green Building Standards Code

In January 2010, the State of California adopted the California Green Building Standards Code, establishing mandatory green building standards for all buildings in California. The code covers five categories: planning and design, energy efficiency, water efficiency and conservation, material conservation and resources efficiency, and indoor environmental quality. These standards include the following mandatory set of measures, as well as more rigorous voluntary guidelines, for new

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construction projects to achieve specific green building performance levels:

- Reducing indoor water use by 20 percent;
- Reducing wastewater by 20 percent;
- Recycling and/or salvaging 65 percent of nonhazardous construction and demolition debris, or meeting the local construction and demolition waste management ordinance, whichever is more stringent (see San José-specific CALGreen building code requirements in the local regulatory framework section below); and
- Providing readily accessible areas for recycling by occupants

Local

City of Milpitas Storm Drain Master Plan

The City's 2013 Storm Drain Master Plan identifies the capital improvements needed to maintain recommended levels of protection against storm water runoff, and the need for a revenue stream that will allow the necessary capital improvements to be made, and the storm drain system kept in working order into the future. The Master Plan contains drainage standards, summarizes the major drainage facilities in the area, evaluates the storm drain collection system and pump stations, analyzes storm drain impacts from new development, identifies capital improvements, outlines the operations, maintenance, and replacement methods, and identifies funding requirements.

Milpitas General Plan

The following policies in the City's General Plan have been adopted for the purpose of reducing or avoiding impacts related to utilities and service systems and are applicable to the Master Plan Update.

General Plan Policies – Utilities & Service Systems	
USC 4-2	Require all development projects to demonstrate how storm water runoff will be detained or retained on-site and/or conveyed to the nearest drainage facility as part of the development review process and as required by the San Francisco Bay Region Municipal Regional Stormwater National Pollutant Discharge Elimination System (NPDES) Permit.
USC 4-3	Require all future development projects to analyze their drainage and stormwater conveyance impacts and either demonstrate that the City's existing infrastructure can accommodate increased stormwater flows, or make the necessary improvements to mitigate all potential impacts.
USC 4-4	Applicable projects shall incorporate Best Management Practices (BMPs) and Low Impact Development measures (LID) to treat stormwater before discharge from the site. The facilities shall be sized to meet regulatory requirements.
USC 4-5	Applicable projects shall control peak flows and duration of runoff to prevent accelerated erosion of downstream watercourses.
USC 4-6	Applicable projects shall minimize directly connected impervious areas by limiting the overall coverage of paving and roofs, directing runoff from impervious areas to adjacent pervious areas, and selecting permeable pavements and surface treatments

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General Plan Policies – Utilities & Service Systems	
USC 4-7	Encourage dual-use detention basins for parks, ball fields, and other appropriate uses.
USC 4-8	Coordinate directly with the Santa Clara Valley Water District to incorporate recreational trails and parkway vegetation design into open stormwater facilities and creek corridors to the greatest extent feasible.
USC 4-10	Where feasible, conform developments to natural landforms, avoid excessive grading and disturbance of vegetation and soils, retain native vegetation and trees, and maintain natural drainage patterns
USC 4-12	Projects accommodating outdoor activities, including work areas, storage areas or other areas that are potential sources of stormwater pollutants, shall incorporate measures to control those pollutant sources to the maximum extent practicable.
USC 4-14	Construction sites shall incorporate measures to control erosion, sedimentation, and the generation of runoff pollutants to the maximum extent practicable. The design, scope and location of grading and related activities shall be designed to cause minimum disturbance to terrain and natural features. (Title II, Chapter 13 of the Municipal Code).
USC 4-15	Minimize the use of pesticides that may affect water quality.
USC 5-2	Implement and enforce the provisions of the City’s Source Reduction and Recycling Program and update the program as necessary to meet or exceed the State waste diversion requirements.
USC 5-3	Reduce municipal waste generation by increasing recycling, on-site composting, and mulching, where feasible, at municipal facilities, as well as using resource efficient landscaping techniques in new or renovated medians and parks.

4.19.1.2 Existing Conditions

Water Supply

Water service is provided to the City of Milpitas by two water suppliers, San Francisco Public Utilities Commission (SFPUC) and Santa Clara Valley Water District (Valley Water). Approximately two-thirds of the City’s potable water is from SFPUC and the remaining one-third is from Valley Water. In recent years, the City has purchased approximately 1,700 million gallons per year from SFPUC. The City’s agreement with SFPUC provides the City with the right to purchase up to 9.23 million gallons per day (mgd) of treated potable water unless SFPUC has a water shortage. On an annual basis, the available SFPUC supply would be approximately 3.4 million gallons per year.

The City has a three-year contracted delivery schedule with Valley Water. In 2016-2017, the City requested a 119 million gallon water delivery. The City’s monthly “supply guarantee” is at least 15 percent of the annual schedule for that year, meaning that in any month, the City can purchase up to 15 percent of the year’s total delivery schedule water.

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Wastewater Services

Wastewater from the City of Milpitas is treated at the San José-Santa Clara Regional Wastewater Facility (RWF). The RWF treats an average of 110 million gallons of wastewater per day (mgd).⁵⁰ The City's total contracted peak week flow capacity at the plant is 14.25 mgd.

Storm Drainage

Stormwater runoff is collected in a system of storm drain pipelines ranging from three-inches to 96-inches in diameter and totaling nearly 77 miles in length with outfalls and pumping stations along the City's major waterways that ultimately drain to the San Francisco Bay. Milpitas owns and operates 13 storm water pumping stations, but the Santa Clara Valley Water District manages most of the natural and urbanized waterways into which the City discharges stormwater.

Solid Waste

Republic Services (formerly Allied Waste) provides solid waste and recycling collection services for the City of Milpitas. Waste from the City is hauled to the Newby Island Sanitary Landfill (NISL). The estimated closure date for NISL is 2041.⁵¹ The City has an annual disposal allocation for 395,000 tons per year. As of April 2021, NISL had approximately 13.7 million cubic yards of capacity remaining.⁵²

4.19.2 Impact Discussion

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
Would the project:				
1) Require or result in the relocation or construction of new or expanded water, wastewater treatment or stormwater drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2) Have insufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3) Result in a determination by the wastewater treatment provider which serves or may serve the project that it does not have adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

⁵⁰ City of Milpitas. *Milpitas General Plan Final Environmental Impact Report*. November 2, 2020. Page 3.15-15.

⁵¹ North, Daniel. General Manager, Republic Services. Personal Communication. April 19, 2021.

⁵² Ibid.

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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
Would the project:				
4) Generate solid waste in excess of state or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5) Be noncompliant with federal, state, or local management and reduction statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Impact UTL-1: The project would not require or result in the relocation or construction of new or expanded water, wastewater treatment or stormwater drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects. **(Less than Significant Impact)**

The Master Plan Update recommends improvements to existing City parks. Implementation of the Master Plan Update would not result in the construction of new parks or expand existing parks. The recommended park improvements do not include and would not require the relocation or construction of new or expanded water, wastewater, stormwater, electric, natural gas, or telecommunications utilities. **(Less than Significant Impact)**

Impact UTL-2: The project would not have insufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years. **(Less than Significant Impact)**

The Master Plan Update recommends improvements to existing City parks. Implementation of the Master Plan Update would not result in the construction of new parks or expand existing parks, which could increase water demand. Water usage associated with the recommended improvements would be that used for landscape irrigation and to operate drinking fountain and restrooms. As identified in the Master Plan Update and consistent with General Plan Policy PROS 1-15, the recommended improvements would be designed to minimize water use. Native and/or drought-resistant vegetation would be used for landscaping and the new and refurbished restrooms would include water-conserving fixtures in accordance with the current building code. Updating existing restrooms with water-conserving fixtures would reduce water demand compared to existing conditions. For these reasons, implementation of the Master Plan Update would not result in insufficient water supplies. **(Less than Significant Impact)**

Impact UTL-3: The project would not result in a determination by the wastewater treatment provider which serves or may serve the project that it does not have adequate capacity to serve the project's projected demand in addition to the provider's existing commitments. **(Less than Significant Impact)**

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The new restrooms at Ben Rodgers Park, Hidden Lake Park, Hillcrest Park, and Strickroth Park recommended in the Master Plan Update would generate wastewater. While there may be an increase in wastewater generation, it is not expected to exceed the existing wastewater capacity. Furthermore, individual projects under the Master Plan Update would be required to comply with applicable General Plan policies and actions ensuring adequate wastewater treatment and conveyance infrastructure is available to serve the park improvements. **(Less than Significant Impact)**

Impact UTL-4: The project would not generate solid waste in excess of state or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals. **(Less than Significant Impact)**

The Master Plan Update recommends improvements to existing City parks. As a result, implementation of the Master Plan Update would create a new source of solid waste, such as a new parks or expanded park. While the recommended park improvements could incrementally increase solid waste generation, all recommended improvements would be required to comply with applicable General Plan policies and state and local requirements related to solid waste, construction waste diversion, and recycling. As described in Section 4.19.1.2, Existing Conditions, NISL had approximately 13.7 million cubic yards of capacity remaining in April 2021, and the City's projected increase in solid waste generation from General Plan buildout is within the permitted capacity of the NISL.⁵³ For these reasons, the incremental increase in solid waste from implementation of the Master Plan Update would not exceed state or local standards or the capacity of local infrastructure or impair attainment of local waste reduction goals. **(Less than Significant Impact)**

Impact UTL-5: The project would not be noncompliant with federal, state, or local management and reduction statutes and regulations related to solid waste. **(Less than Significant)**

As described above, all park improvements recommended in the Master Plan Update would be required to comply with applicable General Plan policies and state and local requirements related to solid waste, construction waste diversion, and recycling. **(Less than Significant)**

⁵³ City of Milpitas. *Milpitas General Plan Final Environmental Impact Report*. November 2, 2020. Page 3.15-36.

CEQA DOCUMENTATION

4.20 WILDFIRE

4.20.1 Environmental Setting

4.20.1.1 *Regulatory Framework*

State

Fire Hazard Severity Zones

CAL FIRE is required by law to map areas of significant fire hazards based on fuels, terrain, weather, and other relevant factors. Referred to as Fire Hazard Severity Zones (FHSZs), these maps influence how people construct buildings and protect property to reduce risk associated with wildland fires. FHSZs are divided into areas where the state has financial responsibility for wildland fire protection, known as state responsibility areas (SRAs), and areas where local governments have financial responsibility for wildland fire protection, known as local responsibility areas (LRAs). Homeowners living in an SRA are responsible for ensuring that their property is in compliance with California's building and fire codes. Only lands zoned for very high fire hazard are identified within LRAs.

California Fire Code Chapter 47

Chapter 47 of the California Fire Code sets requirements for wildland-urban interface fire areas that increase the ability of buildings to resist the intrusion of flame or burning embers being projected by a vegetation fire, in addition to systematically reducing conflagration losses through the use of performance and prescriptive requirements.

California Public Resources Code Section 4442 through 4431

The California Public Resources Code includes fire safety regulations that restrict the use of equipment that may produce a spark, flame, or fire; require the use of spark arrestors on construction equipment that uses an internal combustion engine; specify requirements for the safe use of gasoline-powered tools on forest-covered land, brush-covered land, or grass-covered land; and specify fire suppression equipment that must be provided onsite for various types of work in fire-prone areas. These regulations include the following:

- Earthmoving and portable equipment with internal combustion engines would be equipped with a spark arrestor to reduce the potential for igniting a wildland fire (Public Resources Code Section 4442);
- Appropriate fire suppression equipment would be maintained during the highest fire danger period, from April 1 to December 1 (Public Resources Code Section 4428);
- On days when a burning permit is required, flammable materials would be removed to a distance of 10 feet from any equipment that could produce a spark, fire, or flame, and the construction contractor would maintain appropriate fire suppression equipment (Public Resources Code Section 4427); and
- On days when a burning permit is required, portable tools powered by gasoline-fueled internal combustion engines would not be used within 25 feet of any flammable materials (Public Resources Code Section 4431).

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California Code of Regulations Title 14

The California Board of Forestry and Fire Protection has adopted regulations, known as SRA Fire Safe Regulations, which apply basic wildland fire protection standards for building, construction, and development occurring in a SRA. The future design and construction of structures, subdivisions and developments in SRAs are required to provide for the basic emergency access and perimeter wildfire protection measures discussed in Title 14.

Fire Management Plans

CAL FIRE has developed an individual Unit Fire Management Plan for each of its 21 units and six contract counties. CAL FIRE has developed a strategic fire management plan for the Santa Clara Unit, which covers the project area and addresses citizen and firefighter safety, watersheds and water, timber, wildlife and habitat (including rare and endangered species), unique areas (scenic, cultural, and historic), recreation, range, structures, and air quality. The plan includes stakeholder contributions and priorities and identifies strategic areas for pre-fire planning and fuel treatment as defined by the people who live and work with the local fire issues.

Local

City of Milpitas Municipal Code

Chapter 300 of the City's Municipal Code includes the adoption of the 2019 California Fire Code and the adoption of additional amendments. Chapter 300 requires compliance with the California Fire Code. The California Fire Code regulates and governs the safeguarding of life and property from fire and explosion hazards arising from the storage, handling and use of hazardous substances, materials and devices, and from conditions hazardous to life or property in the occupancy of buildings and premises in the City of Milpitas.

4.20.1.2 Existing Conditions

The City of Milpitas is not located in a Very High Fire Severity zone.⁵⁴

4.20.2 Impact Discussion

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:				
1) Substantially impair an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

⁵⁴ City of Milpitas. *Milpitas General Plan Final Environmental Impact Report*. November 2, 2020. Page 3.8-17.

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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:				
2) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines, or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>The City is classified as very high fire hazard severity zones. The hillsides located east of the City are designated as High and Moderate Fire Severity zones by CAL FIRE. Consistent with the General Plan, all planned improvements recommended in the Master Plan Update would be constructed and maintained in accordance with federal, state, and local wildland fire hazards requirements. Therefore, implementation of the Master Plan Update would not expose people or structures to risk from wildland fires (Less than Significant Impact)</p>				
Milpitas Parks and Recreation Master Plan Update City of Milpitas	119	Initial Study September 2021		

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4.21 MANDATORY FINDINGS OF SIGNIFICANCE

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
1) Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2) Does the project have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Impact MFS-1: The project does not have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory. **(Less than Significant Impact)**

As discussed in Sections 4.1 through 4.20 of this Initial Study, implementation of the Master Plan Update in accordance with the General Plan and local, state, and federal laws and regulations would not degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory. **(Less than Significant Impact)**

Impact MFS-2: The project does not have impacts that are individually limited, but cumulatively considerable. **(Less than Significant Impact)**

CEQA DOCUMENTATION

Under Section 15065(a)(3) of the CEQA Guidelines, a Lead Agency shall find that a project may have a significant effect on the environment where there is substantial evidence that the project has potential environmental effects “that are individually limited, but cumulatively considerable.” As defined in Section 15065(a)(3) of the CEQA Guidelines, cumulatively considerable means “that the incremental effects of an individual project are significant when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.”

As discussed in Sections 4.1 through 4.20 of this Initial Study, implementation of the Master Plan Update in compliance with the General Plan and local, state, and federal laws and regulations would avoid or reduce impacts to less than significant. Compliance with the General Plan and existing local, state, and federal laws and regulations would also reduce contributions to cumulative impacts to a level that is not cumulatively considerable. **(Less than Significant Impact)**

Impact MFS-3: The project does not have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly. **(Less than Significant Impact)**

Consistent with Section 15065(a)(4) of the CEQA Guidelines, a Lead Agency shall find that a project may have a significant effect on the environment where there is substantial evidence that the project has the potential to cause substantial adverse effects on human beings, either directly or indirectly. Under this standard, a change to the physical environment that might otherwise be minor must be treated as significant if people would be significantly affected. This factor relates to adverse changes to the environment of human beings generally, and not to effects on particular individuals. While changes to the environment that could indirectly affect human beings would be represented by all of the designated CEQA issue areas, those that could directly affect human beings include air quality, hazardous materials, and noise. Implementation of the Master Plan Update in compliance with the General Plan and existing local, state, and federal laws and regulations would reduce these impacts to a less than significant level. No other direct or indirect adverse effects on human beings have been identified. **(Less than Significant Impact)**

CEQA DOCUMENTATION

SECTION 5.0 REFERENCES

The analysis in this Initial Study is based on the professional judgement and expertise of the environmental specialists preparing this document, based upon review of the site, surrounding conditions, site plans, and the following references:

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CEQA DOCUMENTATION

SECTION 6.0 LEAD AGENCY AND CONSULTANTS

6.1 LEAD AGENCY

City of Milpitas

Ned Thomas, *Planning Director*
Renee Lorentzen, *Recreation and Community Services Director*
Steven Erickson, *Engineering Director*
Rozalynne Thompson, *Project Manager*

6.2 CONSULTANTS

David J. Powers & Associates, Inc. Environmental Consultants and Planners

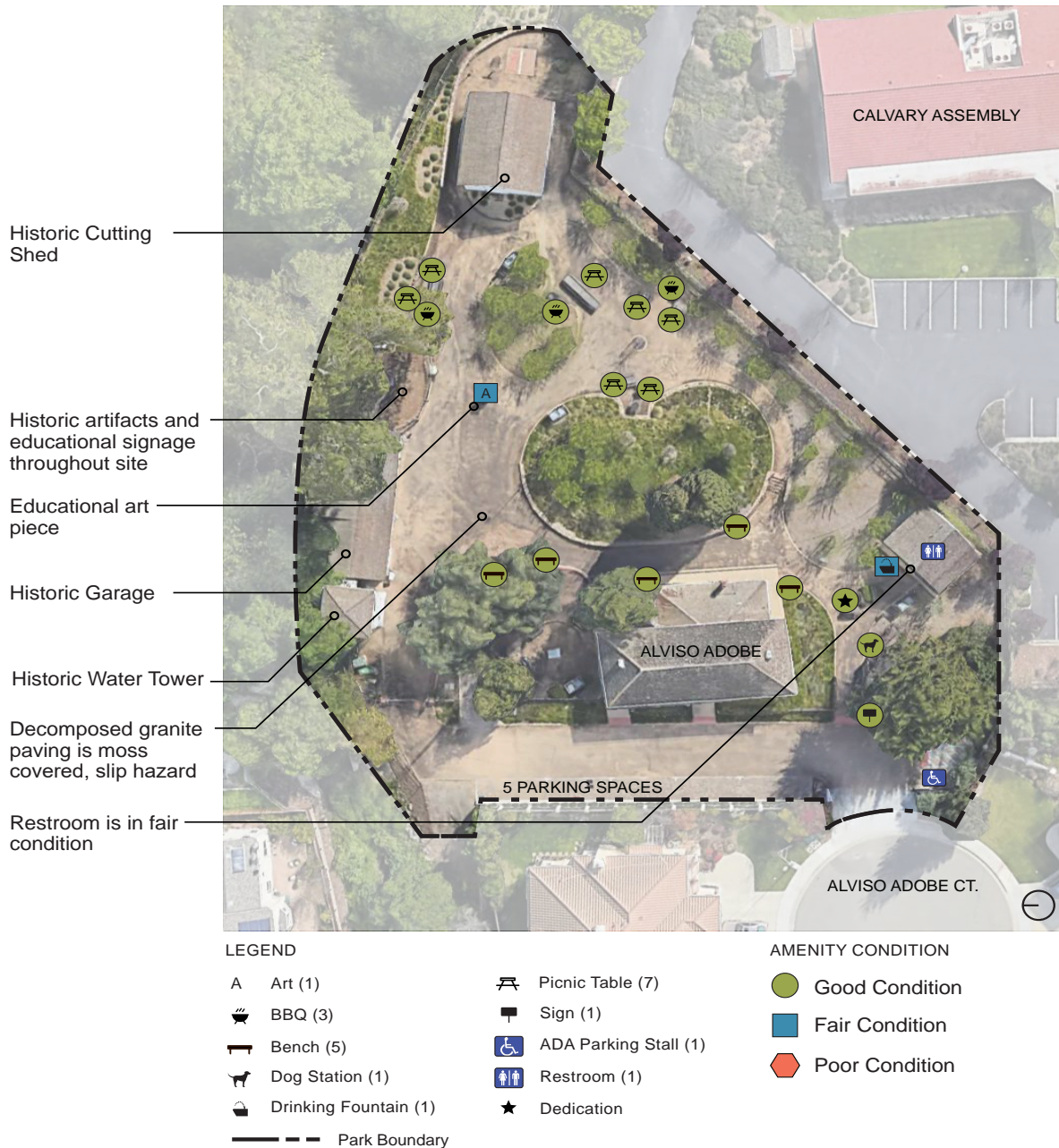
Demetri Loukas, *Principal Project Manager*
Fiona Phung, *Project Manager*
Ryan Osako, *Graphic Artist*

CEQA DOCUMENTATION

Appendix A: Existing/Proposed Site Plans and Site Improvements

CEQA DOCUMENTATION

ALVISO ADOBE PARK EXISTING SITE PLAN



CEQA DOCUMENTATION

ALVISO ADOBE PARK SITE IMPROVEMENTS

Currently there are no major improvements recommended for this park, only short term repair and maintenance work is required.

- Clear pathways of moss.
- Landscape Maintenance: Weed and prune all landscaped areas and prune trees where necessary. Replace dead or dying plants with drought-tolerant California natives. Mulch landscape areas annually. Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Ensure that pathways are clear of moss annually or as needed.
- Refurbish Restroom: Refurbish and conduct ADA study per Facility Condition Assessment.

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AUGUSTUS RATHBONE PARK EXISTING SITE PLAN

Turf is sparse in areas

Low mulch at planting areas



LEGEND

A	Art (1)		Picnic Table (4)
	Bench (4)		Play Structure (2)
	Bike Rack (1)		Sign (1)
	Park Boundary		

AMENITY CONDITION

	Good Condition
	Fair Condition
	Poor Condition

CEQA DOCUMENTATION

AUGUSTUS RATHBONE PARK **SITE IMPROVEMENTS**

Currently there are no major improvements recommended for this park, only ongoing maintenance work is required.

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BEN RODGERS PARK EXISTING SITE PLAN



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BEN RODGERS PARK PROPOSED SITE PLAN



CEQA DOCUMENTATION

BEN RODGERS PARK SITE IMPROVEMENTS

Short Term Improvement

- Repair entry sign.
- Replace all park rules signs.
- Replace bike rack.
- Picnic Areas: Replace all picnic tables and barbecues with current Milpitas standard, provide ADA accessible models. Provide ash receptacles.
- Replace all benches with current Milpitas standard, placed on concrete pads to ensure accessibility.
- Landscape Maintenance: Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Mow and edge all lawn areas weekly.

Long Term Improvement

- Update Picnic Areas: Pave picnic areas with concrete. Provide one trash/recycle receptacle per picnic area and one ash receptacle for every two barbecues or at least one per picnic area. Add shade structures where existing tree canopies do not provide shade.
- Add group picnic area adjacent to play area. Provide ADA accessible tables, trash/recycle receptacles, group barbecues, prep tables, ash receptacles and shade structures. Pave with concrete.
- Add restroom adjacent to picnic area and baseball and soccer field.
- Replace backstop at baseball field, add two player benches.
- Pave gravel trails at north of site with 9' wide asphalt paths
- Replace pedestrian lighting on both north and south areas of the park, standardize fixtures.
- Right of Way Improvement: Installation of ADA curb ramps at all public entrances, accessibility signage, and sidewalk, curb and gutter repairs, and sidewalk expansion as necessary.

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BOB MCGUIRE PARK EXISTING SITE PLAN



CEQA DOCUMENTATION

BOB MCGUIRE PARK **SITE IMPROVEMENTS**

No improvements are proposed at the time of this document.

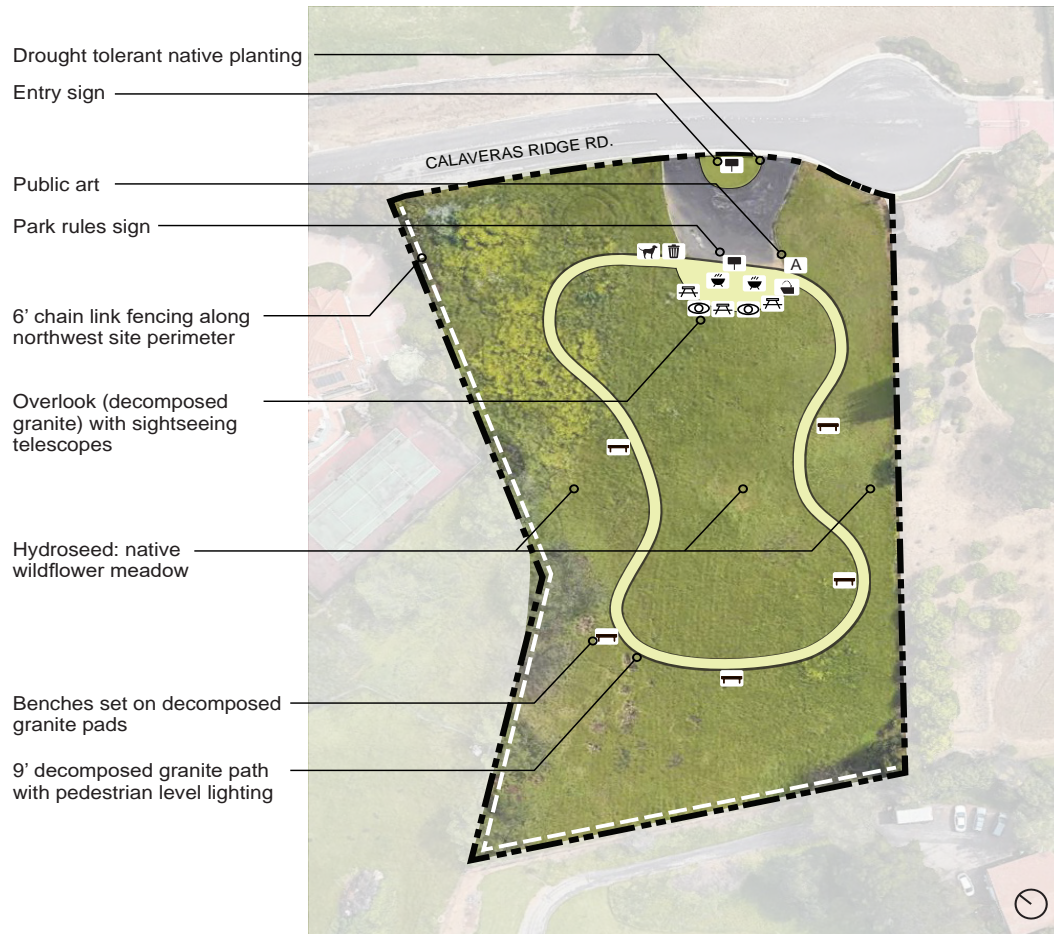
CEQA DOCUMENTATION

CALAVERAS RIDGE PARK EXISTING SITE PLAN



CEQA DOCUMENTATION

CALAVERAS RIDGE PARK PROPOSED SITE PLAN



LEGEND

	Picnic Table (3)		Trash/Recycle Receptacle (1)		Public Art (1)
	Bench (5)		BBQ (2)		Sign (2)
	Dog Station (1)		Drinking Fountain (1)		Sightseeing Telescope (2)
Park Boundary					

CEQA DOCUMENTATION

CALAVERAS RIDGE PARK
SITE IMPROVEMENTS

Short Term Improvement

- No short term repairs and upgrades are recommended

Long Term Improvement

- Add 9' decomposed granite path.
- Add pedestrian level lighting that will not interfere with stargazing.
- Add decomposed granite overlook with picnic tables, barbeques and educational astronomy signage.
- Add benches along pathway. Place on decomposed granite pads to ensure accessibility.
- Add telescopes at overlook for observing the planets and the moon.
- Add public art at entrance.
- Slurry seal and stripe parking lot to designate ADA accessible space.
- Add drought tolerant native planting at entrance area and associated irrigation.
- Hydroseed site with native wildflower meadow mix.

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CALLE ORIENTE PARK EXISTING SITE PLAN

- No planting at park entrance
- Half size basketball court in good condition
- Sparse vegetation at all perimeter planting areas
- Passive use lawn
- Decomposed granite surfacing at picnic area
- Sparse vegetation at park entrance
- Safety surfacing at play equipment is failing. Play structure is in fair condition. Swing set is broken.
- Shade structure over play equipment
- Sparse vegetation at park entrance



LEGEND

- BBQ (2)
- Bench (5)
- Drinking Fountain (1)
- Picnic Table (3)
- Play Structure (1)
- Entry Sign (1)
- Park Boundary

AMENITY CONDITION

- Good Condition
- Fair Condition
- Poor Condition

CEQA DOCUMENTATION

CALL ORIENTE PARK SITE IMPROVEMENTS

Short Term Improvement

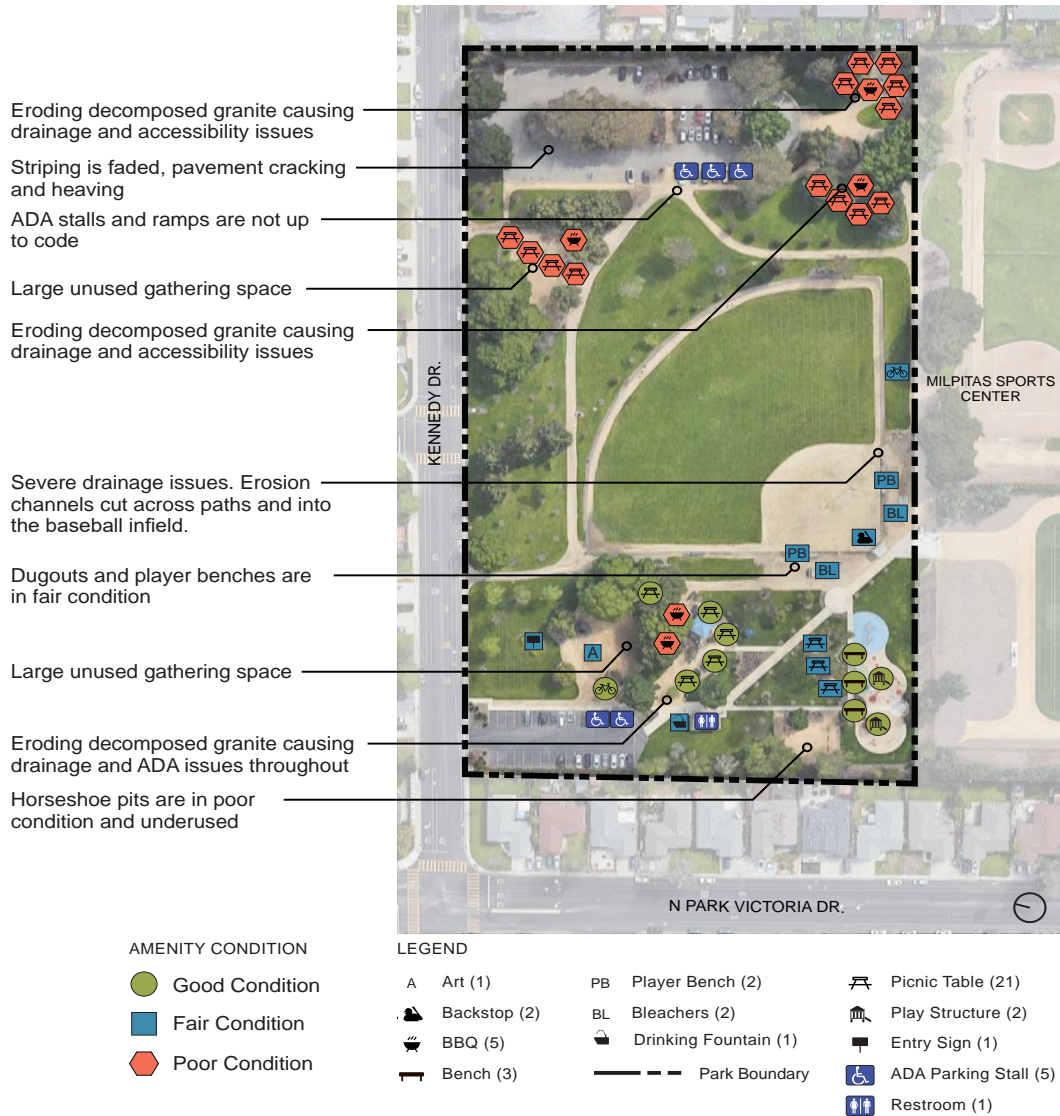
- Replace shade sail fabric on picnic area shade structures.
- Replace swing set.
- Landscape and Irrigation: Replant all landscaped areas with drought-tolerant California native planting, mulch with 3" layer of recycled wood mulch per Milpitas City standards. Repair irrigation system. Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Mow and edge turf areas weekly.

Long Term Improvement

No long term improvements or additions are proposed at the time of this document.

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CARDOZA PARK (TOM) EXISTING SITE PLAN



CEQA DOCUMENTATION

CARDOZA PARK (TOM)

PROPOSED SITE PLAN - THREE FIELD OPTION

New picnic areas

Resurface and restripe parking lot, ensure compliance with current accessibility codes

Storage container

Update picnic area

Repave all decomposed granite paths to 9' wide. Address grading and drainage issues at interface with Milpitas Sports Center

Landscaping/lawn














Refurbish restroom

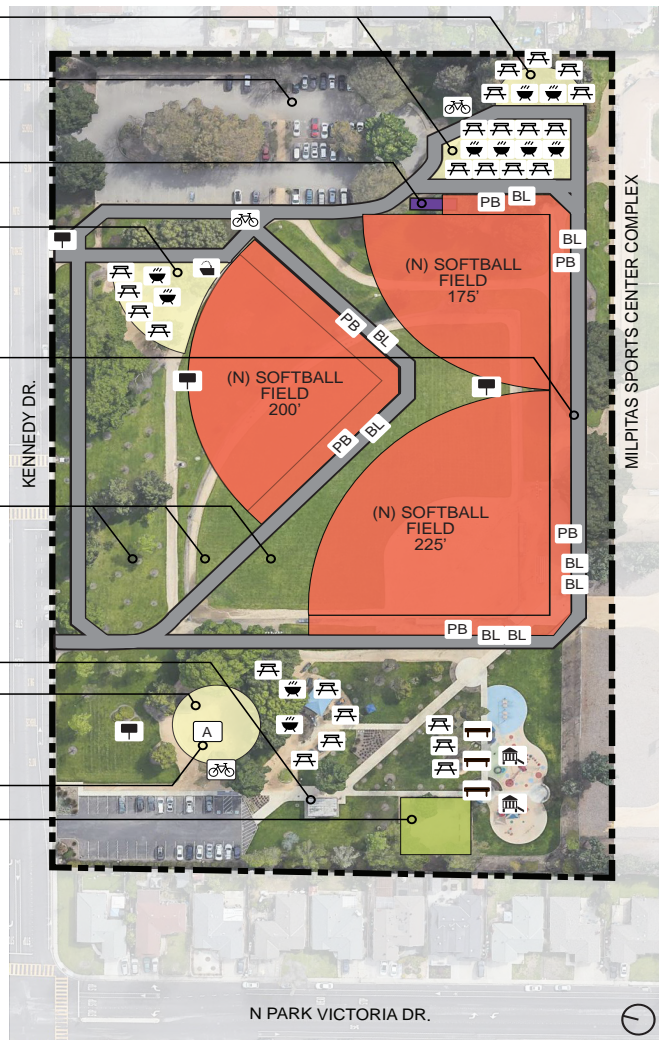
Community event space

Art to remain

Replace horseshoes with lawn area

LEGEND

 Picnic Table (25)	 Bleachers (8)
 BBQ (10)	 Player Bench (6)
 Bike Rack (3)	 Drinking Fountain (1)
 Scoreboard (2)	 Bench (3)
 Art (1)	 Entry Sign (2)
 Play Structure (2)	 Storage Container(1)
 Park Boundary	



CEQA DOCUMENTATION

CARDOZA PARK (TOM)

PROPOSED SITE PLAN - FOUR FIELD OPTION

New picnic areas

Resurface and restripe parking lot, ensure compliance with current accessibility codes

Turf

Storage container

Pave all decomposed granite paths with 9' concrete pathways. Address grading and drainage issues at interface with Milpitas Sports Center













Refurbish restroom

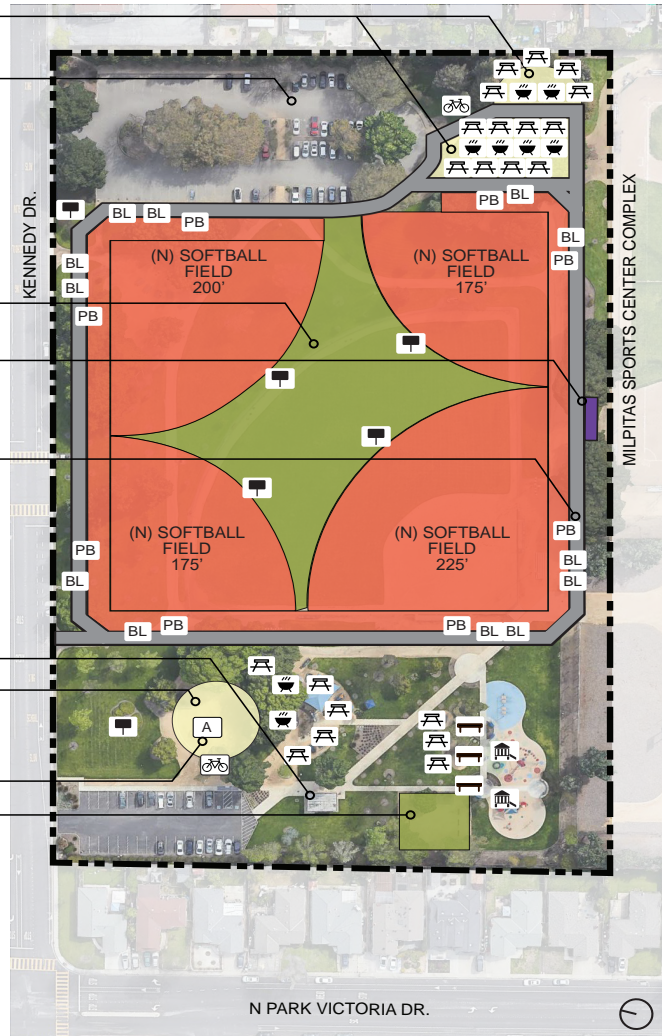
Community event space

Art to remain

Replace horseshoes with lawn area

LEGEND

	Picnic Table (21)		Bleachers (12)
	BBQ (8)		Player Bench (8)
	Bike Rack (3)		Bench (3)
	Scoreboard (4)		Entry Sign (2)
	Art (1)		Storage Container(1)
	Play Structure (2)		
 Park Boundary			



CEQA DOCUMENTATION

CARDOZA PARK (TOM)

SITE IMPROVEMENTS - THREE FIELD OPTION

Short Term Improvement

- Replace all existing picnic tables and barbeques in the east portion of the site, provide ADA accessible models.
- Refurbish Restroom: Refurbish and conduct ADA study per Facility Condition Assessment.
- Parking Lot Repairs & ADA Stall Improvements: Resurface and restripe east parking lot. Ensure compliance with current accessibility codes. \$50,000 allowance.
- Repair decomposed granite pathways; \$50,000 allowance.
- Landscape Maintenance: Weed and prune all landscaped areas and prune trees where necessary, remove all dead or dying vegetation. Replace dead or dying plants with drought-tolerant California natives. Mulch landscape areas annually. Continue weed control, pruning and fertilization quarterly or as needed. Mow and edge all lawn areas weekly.

Long Term Improvement - Phase 1

Field Improvements

- Softball Fields: Three new softball fields sized per plan. Each field shall include backstops, shaded dugouts and bleachers, lighting and perimeter fencing. One double sided and one single scoreboard to be provided.
- Add decomposed granite path to provide access to 200' softball field.
- Add storage container.

Long Term Improvement - Phase 2

Picnic Area & Parking Lot Improvements

- Add Picnic Areas: Concrete picnic areas with ADA accessible tables and one trash/recycle and ash receptacle per picnic area.
- Community Event Space: Community plaza area with perimeter seatwalls, concrete paving and shade structures to be used for city events, farmers markets, food trucks, etc.
- Repave all decomposed granite paths to 9'. Address grading and drainage issues at interface with Milpitas Sports Center.
- Ensure ADA access at all slopes to Milpitas Sports Center Complex property, and add ramps where necessary.
- Resurface and restripe east parking lot. Ensure compliance with current accessibility codes.
- Add entrance sign at east parking lot

CEQA DOCUMENTATION

CARDOZA PARK (TOM)

SITE IMPROVEMENTS - FOUR FIELD OPTION

Short Term Improvement

- Replace all existing picnic tables and barbeques in the east portion of the site, provide ADA accessible models.
- Refurbish Restroom: Refurbish and conduct ADA study per Facility Condition Assessment.
- Parking Lot Repairs & ADA Stall Improvements: Resurface and restripe east parking lot. Ensure compliance with current accessibility codes. \$50,000 allowance.
- Repair decomposed granite pathways; \$50,000 allowance.
- Landscape Maintenance: Weed and prune all landscaped areas and prune trees where necessary, remove all dead or dying vegetation. Replace dead or dying plants with drought-tolerant California natives. Mulch landscape areas annually. Continue weed control, pruning and fertilization quarterly or as needed. Mow and edge all lawn areas weekly.

Long Term Improvement - Phase 1

Field Improvements

- Softball Fields: Four new softball fields sized per plan. Each field shall include backstops, shaded dugouts and bleachers, lighting and perimeter fencing. One scoreboard per field.
- Add decomposed granite path to provide access to 200' softball field.
- Add storage container.

Long Term Improvement - Phase 2

Picnic Area & Parking Lot Improvements

- Add Picnic Areas: Concrete picnic areas with ADA accessible tables and one trash/recycle and ash receptacle per picnic area.
- Community Event Space: Community plaza area with perimeter seatwalls, concrete paving and shade structures to be used for city events, farmers markets, food trucks, etc.
- Repave all decomposed granite paths to 9'. Address grading and drainage issues at interface with Milpitas Sports Center.
- Ensure ADA access at all slopes to Milpitas Sports Center Complex property, and add ramps where necessary.
- Resurface and restripe east parking lot. Ensure compliance with current accessibility codes.

CEQA DOCUMENTATION

CERANO PARK EXISTING SITE PLAN



CEQA DOCUMENTATION

CERANO PARK PROPOSED SITE PLAN

Replace concrete barbecues
Remove graffiti at picnic
area, prune vines at trellis

Reseed lawn

Update play areas

Add sand volleyball court



LEGEND

BBQ (2)	Drinking Fountain (1)	ADA Parking Stall (1)
Bench (8)	Picnic Table (4)	Restroom (1)
Bike Rack (1)	Entry Sign (1)	Play Structure (2)
Park Boundary		

CEQA DOCUMENTATION

CERANO PARK SITE IMPROVEMENTS

Short Term Improvement

- Update Play Areas: Replace poured in place surfacing, replace net climber and double slide at age 2-5 play structure with new equipment from Kompan.
- Remove and replace existing barbeques with group barbeques similar to Pinewood Park.
- Clean graffiti from trellis columns and stone tables.
- Landscape Maintenance: Prune vines at trellis. Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Mow and edge all lawn areas weekly.
- Reseed lawn where necessary.
- Restroom and Snack Shack: Refurbish and conduct ADA study per Facility Condition Assessment.

Long Term Improvement

- Add sand volleyball court and net.

CEQA DOCUMENTATION

CREIGHTON PARK (FREDERICK)

EXISTING SITE PLAN



CEQA DOCUMENTATION

DIXON LANDING PARK EXISTING SITE PLAN

Concrete paths in good condition

Covered bleachers provide shade

Old leaning trees pose a safety hazard

Decomposed granite paths uneven and eroding

All picnic areas on separated decomposed granite pads. Not ADA-accessible.

Play structure is in good condition

Entry canopy

Basketball court in good condition. Some broken fencing.

Tennis courts in good condition, minor surface wear



LEGEND

- Backstop (4)
- BBQ (3)
- Bench (2)
- Bike Rack (2)
- PB Player Bench (16)
- BL Bleachers (8)
- Drinking Fountain (1)

- Picnic Table (9)
- Play Structure (1)
- Scoreboard (3)
- Entry Sign (1)
- ADA Parking Stall (2)
- Restroom/Snack Shack (1)
- Park Boundary

AMENITY CONDITION

- Good Condition
- Fair Condition
- Poor Condition

CEQA DOCUMENTATION

DIXON LANDING PARK PROPOSED SITE PLAN



CEQA DOCUMENTATION

DIXON LANDING PARK SITE IMPROVEMENTS

Dixon Landing Park will be the interim home for PAL softball until field upgrades at Cardoza Park are completed.

Short Term Improvement

- Remove hazardous trees at baseball fields.
- Replace drinking fountain
- Restroom and Snack Shack: Refurbish and conduct ADA study per Facility Condition Assessment.
- Landscape Maintenance: Weed and prune all landscaped areas and prune trees where necessary, remove all dead or dying vegetation. Replace dead or dying plants with drought-tolerant California natives. Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Mow and edge all lawn areas weekly.

Long Term Improvement

- Update fields for multi-use play: Re-skin infields, remove turf and pitcher's mound at infield. Replace shade fabric at dugouts where necessary.
- Formalize cricket pitch: Reskin cricket pitch and add striping. Adjust location to maximize outfield area.
- Update picnic areas: Replace all picnic tables and barbecues with current Milpitas standard. Pave picnic areas with concrete. Provide three trash/recycle receptacles and three ash receptacles. Add shade structures where existing tree canopies do not provide shade.
- Add benches and companion seating at play areas.
- Adjust fenceline at main softball field to 265'.
- Add 40-space parking lot along Milmont St.
- Add evergreen screening trees along the western edge to buffer noise and light from the nearby residences
- Right of Way Improvement: Install ADA curb ramps at park entrances, accessibility signage, crosswalk striping, and sidewalk, curb and gutter repairs as needed.

CEQA DOCUMENTATION

FOOTHILL PARK EXISTING SITE PLAN

- Broken split rail fencing
- Park rules sign
- Drainage and erosion issues throughout gravel paths
- Planting areas are bare throughout park
- Redwood grove with natural redwood log seating
- Restroom and drinking fountain in fair condition
- Concrete seatwall at playground
- Play equipment in good condition
- Non-ADA-accessible picnic area
- Asphalt path, slurry sealed in 2020



LEGEND

- | | |
|----------------|--------------------|
| BBQ (2) | Dog Station (1) |
| Bench (2) | Picnic Table (5) |
| Bike Rack (1) | Play Structure (2) |
| Entry Sign (1) | Restroom (1) |
| Park Boundary | |

AMENITY CONDITION

- | |
|----------------|
| Good Condition |
| Fair Condition |
| Poor Condition |

CEQA DOCUMENTATION

FOOTHILL PARK PROPOSED SITE PLAN



CEQA DOCUMENTATION

FOOTHILL PARK SITE IMPROVEMENTS

Short Term Improvement

- Replace all existing picnic tables and barbecues with current Milpitas standard, provide ADA accessible models. Add ash receptacles at picnic area.
- Replace all benches with current Milpitas standard, placed on concrete pads to ensure accessibility.
- Add dog waste station
- Refurbish Restroom Building: Refurbish and conduct ADA study per Facility Condition Assessment.
- Mulch bare planting areas. Weed, prune and fertilize all planted areas quarterly, mulch annually or as needed. Mow and edge all lawn areas weekly.

Long Term Improvement

- Pave existing picnic area with concrete, add ADA accessible drinking fountain and trash receptacle.
- New picnic area: New concrete picnic area with shade structure. Provide one trash/recycle receptacle and one ash receptacle.
- Pave central area between picnic and playground to be used as community event space. Add shade structure.
- Replace gravel path with 9' wide concrete path. Address drainage issues at path.
- Pedestrian lighting replacement.
- Landscape Replant bare landscape areas with drought tolerant California natives, repair or replace irrigation system as necessary. Replace irrigation controller.
- Right of Way Improvement: Install ADA curb ramps at park entrances, accessibility signage, driveway approaches with bollards, crosswalk striping, and sidewalk, curb and gutter repairs as needed.

CEQA DOCUMENTATION

HALL MEMORIAL PARK EXISTING SITE PLAN



CEQA DOCUMENTATION

HALL MEMORIAL PARK

PROPOSED SITE PLAN

- Expand picnic area
 - Picnic tables (8)
 - Barbecues (4)
 - Trash/recycle (2)
 - Ash receptacle (2)

Replant entry planter

Replace entry sign

Replace chain link fence

New 9' concrete paths

Replant entry planter

Replace play structures

Update parking lot

Resurface courts

Refurbish restroom

Replace ball-wall

Reseed lawn

Add shade structures
over benches

Add observation deck w/
interpretive signage

Replace observation deck,
add interpretive signage

Replant banks of lagoon



LEGEND

	Picnic Table (13)		Bench (10)
	BBQ (7)		Dog Station (1)
	Bike Rack (2)		Drinking Fountain (2)
	Play Structure (1)		Interpretive Signage (6)
	Entry Sign (2)		Restroom (1)
	Park Boundary		

CEQA DOCUMENTATION

HALL MEMORIAL PARK

SITE IMPROVEMENTS

Short Term Improvement

- Replace all benches with current Milpitas standard, place on concrete pads to ensure accessibility.
- Replace all picnic tables and barbecues with current Milpitas standard, provide ADA accessible models. Provide ash receptacles.
- Replace existing wood observation deck, add interpretive signage and ensure ADA accessibility from adjacent paths.
- Resurface tennis courts and replace windscreen fabric.
- Refurbish Restroom Building: Interior floor refinish and repaint. Fix electrical issues and conduct ADA study per Facility Condition Assessment.
- Landscape Maintenance: Weed and prune all landscaped areas and prune trees where necessary, remove all dead or dying vegetation. Replace dead or dying plants with drought-tolerant California natives. Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Mow and edge all lawn areas weekly.

Long Term Improvement

- Expand east picnic area: Replace all picnic tables and barbecues with current Milpitas standard and pave picnic areas with concrete. Provide eight picnic tables (at least two accessible), four barbecues, two trash/recycle receptacles and two ash receptacles.
- Update parking lot: Grind and overlay, bring parking lot up to current accessibility codes.
- Replace play structure and sand surfacing with new equipment, poured in place surfacing and engineered wood fiber. Replace chain link fencing at playgrounds with 42" high black vinyl-coated chain link fencing.
- Replace bleachers, goals and player benches at soccer field
- Replace ball-wall.
- Replace east entry sign with City of Milpitas standard.
- Paint pickleball court lines on existing tennis courts.
- Replace gravel paths with 9' wide concrete path. Ensure proper drainage.
- Repave asphalt paths adjacent to tennis courts with concrete paths.
- Add shade structures over benches at lagoon.
- Replace pedestrian lighting.
- Add wood observation deck with interpretive signage at north lagoon.

CEQA DOCUMENTATION

HALL MEMORIAL PARK SITE IMPROVEMENTS (CONT.)

Long Term Improvement (Cont.)

- Replant entry areas with California Native drought tolerant planting. Adjust or repair irrigation as needed. Mulch with 3" layer of recycled wood mulch per Milpitas City standards.
- Replant banks of the lagoon with California Native drought tolerant planting. Plant with the intention of bank stabilization and erosion control. Repair/replace irrigation system as needed.
- Reseed turf area by lagoon.
- Right of Way Improvement: Including but not limited to: installation of ADA curb ramps, accessibility signage, driveway approaches with bollards, crosswalk striping, sidewalk and curb and gutter repairs, sidewalk expansion, etc.

CEQA DOCUMENTATION

HIDDEN LAKE PARK EXISTING SITE PLAN

Drainage issues

Eroding bank

Overlook

Boat dock

Shade structures over
picnic tables

Stairs to Berryessa
Creek Trail, in good
condition. Closed to the
public at the time of this
document

Pump house tagged
with graffiti

Stairs to Berryessa
Creek Trail, in good
condition



LEGEND

BBQ (1)

Bench (1)

Picnic Table (9)

--- Park Boundary

AMENITY CONDITION

Good Condition

Fair Condition

Poor Condition

CEQA DOCUMENTATION

HIDDEN LAKE PARK PROPOSED SITE PLAN

Replant entrance
planting areas

Grind and overlay
parking lot

Update picnic area

Shade structure at
tables to remain

Replace steps

Replace fishing pier

Add wood shade
structure, benches and
interpretive signage at
overlook

Repaint metal fence

Add restroom

Add wood shade
structures

Spot repair asphalt path

New trees

Fitness stations



LEGEND

Picnic Table (9)	Bench (3)
BBQ (2)	Interpretive Signage (5)
Restroom (1)	Tree (15)
Park Boundary	Fitness Station (6)

CEQA DOCUMENTATION

HIDDEN LAKE PARK SITE IMPROVEMENTS

Short Term Improvement

- Repair parking lot: Grind and overlay parking lot, restripe and add ADA accessible stalls, signage and curb ramps.
- Repair asphalt path: Patch and repair accessibility trip hazards and drainage issues. Repair riprap where necessary.
- Replace all picnic tables and barbecues with current Milpitas standard, provide ADA accessible models. Provide ash receptacles.
- Replace all benches with current Milpitas standard.
- Replace current fishing pier and explore boat activity programming, i.e. paddle boats, kayaks, canoes.
- Replace stairs at overlook, bring up to current code
- Repaint ornamental metal fence
- Landscape Maintenance: Weed and prune all landscaped areas and prune trees where necessary, remove all dead or dying vegetation. Replace dead or dying plants with drought-tolerant California natives. Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Mow and edge all lawn areas weekly.
- Conduct tree survey to identify potentially hazardous trees.

Long Term Improvement

- Repave asphalt path
- Update picnic areas: Pave picnic area, provide one trash/recycle and one ash receptacle at entrance picnic area.
- Add restroom at entrance of park.
- Add benches, interpretive signage and wooden shade trellis at overlook.
- Add interactive exhibits and educational signage providing information on local ecology and storm water management.
- Add pedestrian lighting along path.
- Add distance markers for joggers.
- Bring stairs at overlook up to current code.
- Add trees along walking path.
- Replant planting areas at entrance to park.

CEQA DOCUMENTATION

HILLCREST PARK EXISTING SITE PLAN

Walking loop path in good condition

Play area, renovated in 2020

Walking loop path in good condition



LEGEND

BBQ (9)	Play Structure (1)
Bench (5)	Art (1)
Picnic Table (9)	Drinking Fountain
Park Boundary	

AMENITY CONDITION

Good Condition
Fair Condition
Poor Condition

CEQA DOCUMENTATION

HILLCREST PARK PROPOSED SITE PLAN

Hangout space

Art to remain

Add workout stations (8)

Update picnic areas

New restroom

Replace entry sign park
hours panel



LEGEND

Picnic Table (7)	Bike Rack (1)	Entry Sign (1)
BBQ (5)	Play Structure (1)	Fitness Station (8)
Dog Station (2)	Drinking Fountain (1)	Restroom (1)
Art (1)	Bench (10)	Park Boundary

CEQA DOCUMENTATION

HILLCREST PARK SITE IMPROVEMENTS

Short Term Improvement

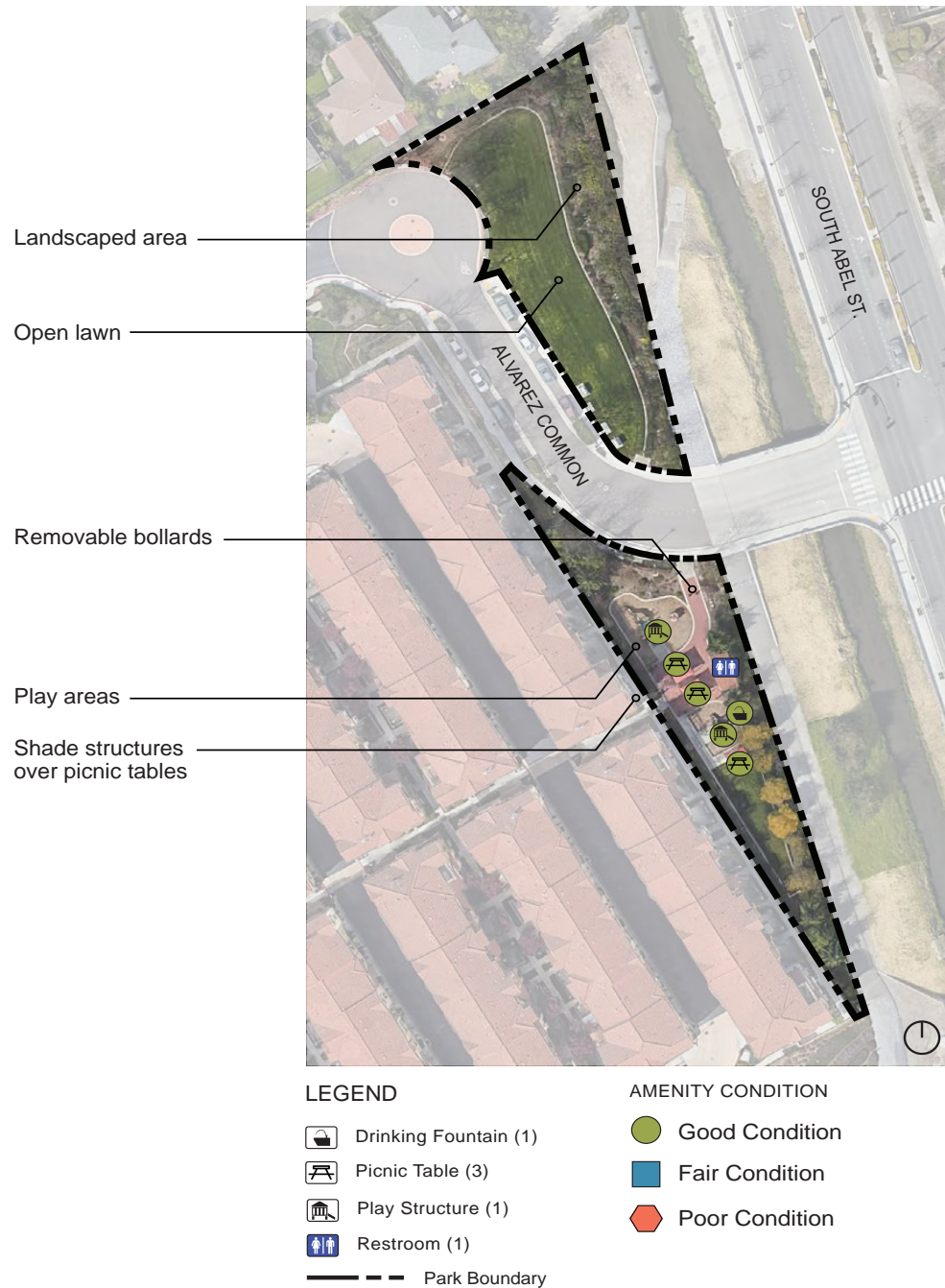
- Replace all picnic tables and barbecues with current Milpitas standard, provide ADA accessible models. Provide ash receptacles.
- Replace bench to the east of the play area, protect in place south benches
- Replace missing park hours sign
- Replace drinking fountain
- Landscape Maintenance: Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Mow and edge all lawn areas weekly.

Long Term Improvement

- Pave picnic areas with concrete, add trash/recycle receptacles. Add shade structures where existing tree canopies do not provide shade.
- Add additional benches along the walking path
- Replace pedestrian lighting
- Add eight fitness stations along main walking path loop.
- Add chess/checkers picnic game tables at central picnic areas.
- Hangout space: Add concrete seating area with overhead shade structure, concrete ping pong tables and seating with integrated power/charging stations.
- Add restroom.
- Add dog stations
- Replace landscape planting, repair and replace irrigation as needed, replace irrigation controller
- Right of Way Improvements: Install ADA curb ramps with bollards at all entries of the park

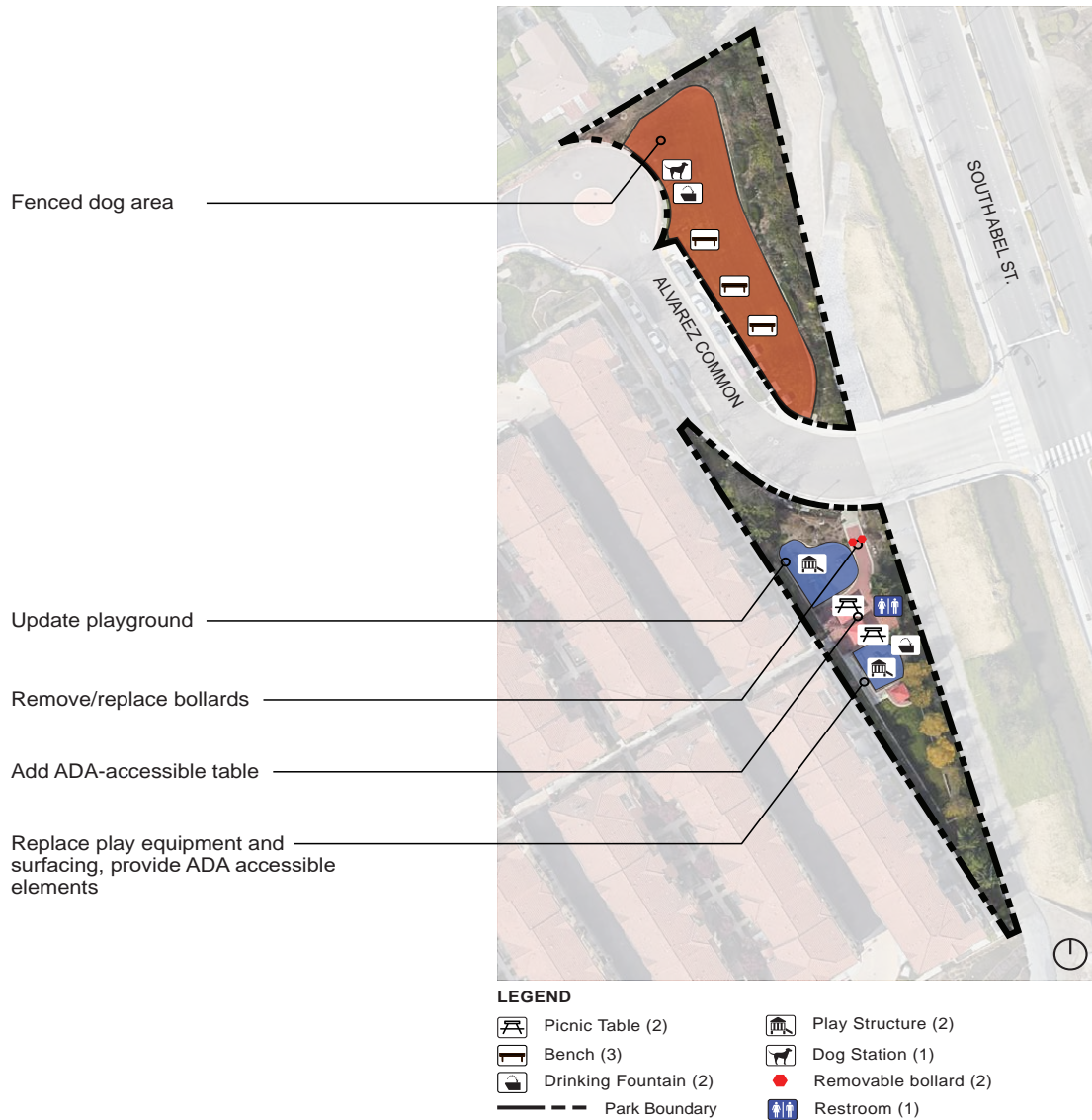
CEQA DOCUMENTATION

JOHN MCDERMOTT PARK EXISTING SITE PLAN



CEQA DOCUMENTATION

JOHN MCDERMOTT PARK PROPOSED SITE PLAN



CEQA DOCUMENTATION

JOHN MCDERMOTT PARK
SITE IMPROVEMENTS

Short Term Improvement

- Update play areas: Replace play slide in kind, replace safety surfacing and engineered wood fiber.
- Replace one existing picnic table with an ADA accessible model.
- Remove bollards at entry and replace with Milpitas City standards.
- Landscape Maintenance: Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Mow and edge all lawn areas weekly.

Long Term Improvement

- Add fenced, off-leash dog area with fenced dog entry area, signage, drinking fountain with pet bowl and a dog station. Repair surrounding planting and irrigation as needed.
- Landscape and Irrigation: Replant all landscape areas with drought tolerant California natives and mulch with 3" of landscape mulch. Repair and replace irrigation system as needed, replace irrigation controllers.

CEQA DOCUMENTATION

JOSE HIGUERA ADOBE PARK

EXISTING SITE PLAN

Group picnic area
-Table (7)
-ADA Table (1)
-Group Barbeque (2)
-Shade Trellis (1)

Historic Caretakers Cabin
Jose Higuera Adobe building

Passive/active use lawn
Perimeter path

Picnic areas

Playground

Entrance sign and walk



LEGEND

- BBQ (7)
- Bench (8)
- Bike Rack (1)
- Drinking Fountain (1)

- Picnic Table (14)
- Play Structure (1)
- Entry Sign (1)
- Park Boundary

AMENITY CONDITION

- Good Condition
- Fair Condition
- Poor Condition

CEQA DOCUMENTATION

JOSE HIGUERA ADOBE PARK
SITE IMPROVEMENTS

Short Term Improvement

- Add 4’ chainlink fence and gates at reservable picnic areas
- Landscape Maintenance: Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Mow and edge all lawn areas weekly.

Long Term Improvement

- No long term improvements are recommended at the time of this document.

CEQA DOCUMENTATION

MCCANDLESS PARK EXISTING SITE PLAN



CEQA DOCUMENTATION

MCCANDLESS PARK PROPOSED CONCEPT PLAN



CEQA DOCUMENTATION

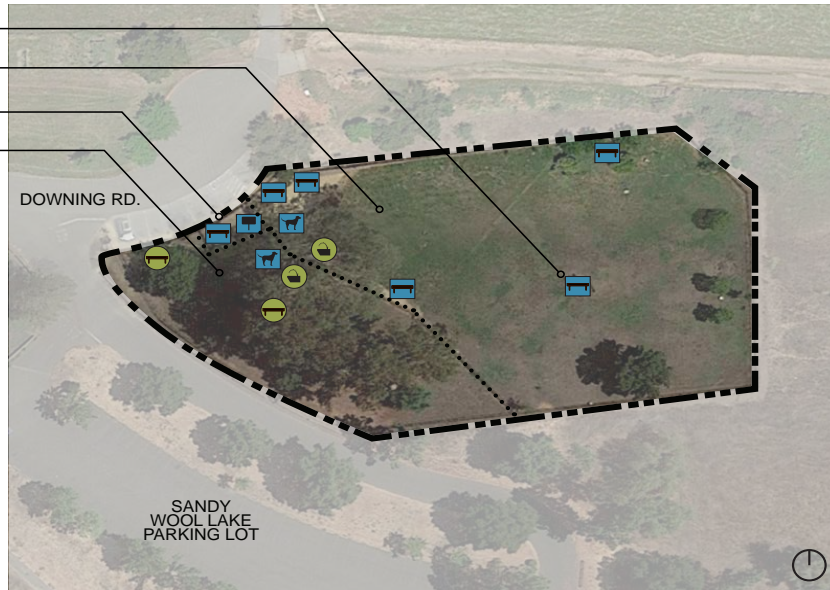
MCCANDLESS PARK SITE IMPROVEMENTS

This park is currently under development per the above plan. No improvements are proposed at the time of this document.

CEQA DOCUMENTATION

MILPITAS DOG PARK EXISTING SITE PLAN




Wood Pergola
Large dog area
Entry area
Small dog area



LEGEND

-  Bench (6)
-  Dog Station (2)
-  Drinking Fountain (2)
-  Signage (1)
-  Chain Link Fencing
-  Park Boundary

AMENITY CONDITION

-  Good Condition
-  Fair Condition
-  Poor Condition

CEQA DOCUMENTATION

MILPITAS DOG PARK SITE IMPROVEMENTS

Short Term Improvement

- Replace all park entry, informational and rules signage at entry. Ensure rules signage is updated to the current ordinance at time of replacement.
- Update ADA Parking stall: Ensure ADA stall meets all ADA codes as is feasible given site slope constraints. Ensure striping is clear and dimensioned correctly, ensure all applicable signage is provided and is legible.

Long Term Improvement

- No long term improvements are recommended at the time of this document.

CEQA DOCUMENTATION

MILPITAS SPORTS CENTER COMPLEX

EXISTING SITE PLAN

Extensive erosion
& drainage issues

Hazardous trees along
east property line

New restroom

Aging pine trees pose a
safety hazard

Extensive erosion &
drainage issues

Restroom and snack
shack

Chain link fencing is in
poor condition overgrown
with vines

Fencing & perimeter
walls in disrepair

Poplars in outfield are in
decline

Plaza pavement
cracking and heaving



LEGEND

- Bench (6)
- Bike Rack (2)
- PB Player Bench (10)
- BL Bleachers (16)
- ADA Parking Stall

- Drinking Fountain (4)
- Scoreboard (3)
- Chain Link Fencing
- Restroom
- Park Boundary

AMENITY CONDITION

- Good Condition
- Fair Condition
- Poor Condition

CEQA DOCUMENTATION

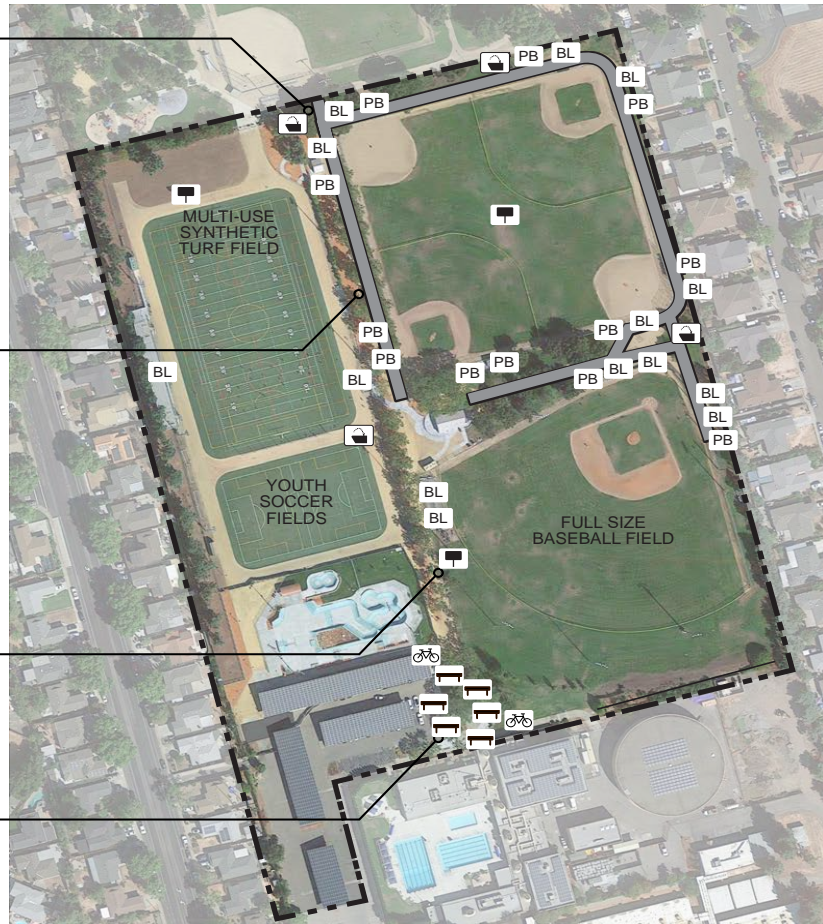
MILPITAS SPORTS CENTER COMPLEX PROPOSED SITE PLAN

Bring stairs to Cardoza
Park up to current code

Bring stairs to Cardoza
Park up to current code

Replace Scoreboards

Replace benches at entry
plaza



LEGEND

Bench (6)	Drinking Fountain (4)	ADA Parking Stall
Bike Rack (2)	Scoreboard (3)	Restroom
Player Bench (10)	Chain Link Fencing	
Bleachers (16)	Park Boundary	

CEQA DOCUMENTATION

MILPITAS SPORTS CENTER COMPLEX SITE IMPROVEMENTS

Short Term Improvement

- Replace access stairs to Cardoza park with concrete steps and an ADA accessible ramp. Connect to new concrete paths.
- Remove and replace all hazardous trees along eastern residential property line.
- Improvement pathway and ramps for accessibility.
- Repair perimeter fencing and walls.

Long Term Improvement

- Pave all existing decomposed granite paths with 9' concrete paths
- Address drainage issues by installing new storm drain system
- Refurbish player benches. Repaint and remove rust, replace boards where necessary.
- Replace benches at entry plaza
- Replace aging bleachers.
- Replace all site furnishing
- Replace chainlink fencing between Multi-Use Synthetic and Baseball Fields
- Replace all scoreboards.
- Landscape maintenance and improvements: Replant all landscape areas with drought tolerant California natives and mulch with 3" of landscape mulch. Repair and replace irrigation system as needed, replace irrigation controllers.

A comprehensive site improvement plan will be part of a future Sports Center Master Plan done by others.

CEQA DOCUMENTATION

MURPHY PARK EXISTING SITE PLAN

- Bike path
- Soccer field
- Par course stations in disrepair
- Trees along soccer field are crowded and of varying species
- Landscape berm
- Play area with sand surfacing
- Memorial bench
- Drainage issues at restroom
- Non-standard entry sign
- Memorial bench
- Picnic area, no ADA access
- Parking lot, no ADA parking spaces



LEGEND

- A Art (1)
- BBQ (3)
- Bench (9)
- Dog Station (1)
- — — Park Boundary

- Fitness Station (7)
- Picnic Table (6)
- Play Structure (1)
- Restroom (1)

AMENITY CONDITION

- Good Condition
- Fair Condition
- Poor Condition

CEQA DOCUMENTATION

MURPHY PARK PROPOSED SITE PLAN

Improve drainage and
irrigation at soccer field

Repave asphalt path

Refurbish restroom

Remove and replace
play area

Add community event space

Update picnic area

Add picnic area

Expand parking lot



LEGEND

Picnic Table (11)	Dog Station (1)	Play Structure (1)
BBQ (4)	Bike Rack (2)	Entry Sign (1)
Bench (7)	Fitness Station (7)	Restroom
Art (1)	Park Boundary	

CEQA DOCUMENTATION

MURPHY PARK SITE IMPROVEMENTS

Short Term Improvement

- Update picnic areas: Replace all picnic tables and barbeques with current Milpitas standard, and provide two ash receptacles.
- Replace all existing benches other than memorial benches with current Milpitas standard, place on concrete pads to ensure accessibility.
- Replace all workout equipment, place on poured in place pads.
- Replace dog waste station at turf field.
- Replace existing entry sign with current Milpitas standard sign.
- Repave asphalt at restroom to address drainage issues.
- Landscape Maintenance: Weed and prune all landscaped areas and prune trees where necessary, remove all dead or dying vegetation. Replace dead or dying plants with drought-tolerant California natives. Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Mow and edge all lawn areas weekly.
- Refurbish Restroom: Refurbish and conduct ADA study per Facility Condition Assessment.

Long Term Improvement

- Pave picnic areas with decomposed granite paving and provide two trash/recycle receptacles.
- Community event space: Paved plaza area with perimeter seating and overhead shade structure. Use adjacent lawn as overflow seating and event space.
- Remove and replace play area: Replace structures and provide accessible ground level play elements. Replace sand surfacing with poured in place surfacing and engineered wood fiber. Include integrated shade structures.
- Update and expand parking lot: Resurface and re-stripe existing lot, bring parking lot up to current accessibility codes. Expand lot to the north, add an additional 18 stalls and tie into new pathways.
- Add additional picnic area adjacent to expanded parking lot with ADA accessible tables barbeques, ash receptacles and new circulation to tie into existing park paths.
- Replace pedestrian lighting.
- Replace park entry sign.
- Improve drainage and irrigation at soccer field, replace turf as necessary.
- Landscape and Irrigation: Replant all landscape areas with drought tolerant California natives and mulch with 3" of landscape mulch. Repair and replace irrigation system as needed, replace irrigation controllers.
- Right of Way Improvement: Including but not limited to: installation of ADA curb ramps, accessibility signage, driveway approaches with bollards, crosswalk striping, sidewalk and curb and gutter repairs, sidewalk expansion, etc.

CEQA DOCUMENTATION

OLIVER W. JONES MEMORIAL PARK
EXISTING SITE PLAN



CEQA DOCUMENTATION

OLIVER W. JONES MEMORIAL PARK PROPOSED SITE PLAN



CEQA DOCUMENTATION

OLIVER W. JONES MEMORIAL PARK SITE IMPROVEMENTS

Short Term Improvement

- Update picnic areas: Replace all picnic tables and barbeques with current Milpitas standard, and provide two ash receptacles.
- Replace all existing benches with current Milpitas standard, place on concrete pads to ensure accessibility.
- Landscape Maintenance: Weed and prune all landscaped areas and prune trees where necessary, remove all dead or dying vegetation. Replace dead or dying plants with drought-tolerant California natives. Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Mow and edge all lawn areas weekly.

Long Term Improvement

- Add picnic area: Replace all picnic tables and barbeques with current Milpitas standard, and provide trash/recycle and ash receptacles. Add overhead shade structures and pave picnic areas with concrete.
- Add a single stall restroom
- Add Hangout Space: Concrete seating area with overhead shade structure, concrete ping pong tables and seating with integrated power/charging stations.
- Add bouldering wall: Prefabricated bouldering wall with safety surfacing and safety/regulatory signage.
- Pave all gravel and decomposed granite paths with concrete.
- Replace pedestrian lighting.
- Landscape and Irrigation: Replant all landscape areas with drought tolerant California natives and mulch with 3" of landscape mulch. Repair and replace irrigation system as needed.
- Right of Way Improvement: Install ADA curb ramp at east side of park.

CEQA DOCUMENTATION

O'TOOLE ELMS PARK (JOHN) EXISTING SITE PLAN



CEQA DOCUMENTATION

O'TOOLE ELMS PARK (JOHN)

SITE IMPROVEMENTS

Short Term Improvement

- Playground equipment and surface repairs: Replace poured in place surfacing.
- Replace message kiosks.
- Replace pedestrian pavers with paver patterned stamped concrete.
- Update parking lot: Bring parking lot up to current accessibility codes. Add ADA stall and provide accessible ramps.
- Landscape Maintenance: Mulch Landscape Areas. Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Mow and edge all lawn areas weekly.

Long Term Improvement

No long term improvements are recommended at the time of this document.

CEQA DOCUMENTATION

PARC METRO EAST EXISTING SITE PLAN

Secluded picnic area. Extensive vandalism and litter.

Curtis Well Site

Picnic nooks

Passive use lawn

Concrete lifting and buckling throughout pathway

Play area in very poor condition



LEGEND

Bench (8)	Entry Sign (1)
Bike Rack (1)	Park Rules Sign (1)
Picnic Table (6)	Restroom (1)
Play Structure (1)	Park Boundary

AMENITY CONDITION

Good Condition
Fair Condition
Poor Condition

CEQA DOCUMENTATION

PARC METRO EAST PROPOSED SITE PLAN



CEQA DOCUMENTATION

PARC METRO EAST SITE IMPROVEMENTS

Short Term Improvement

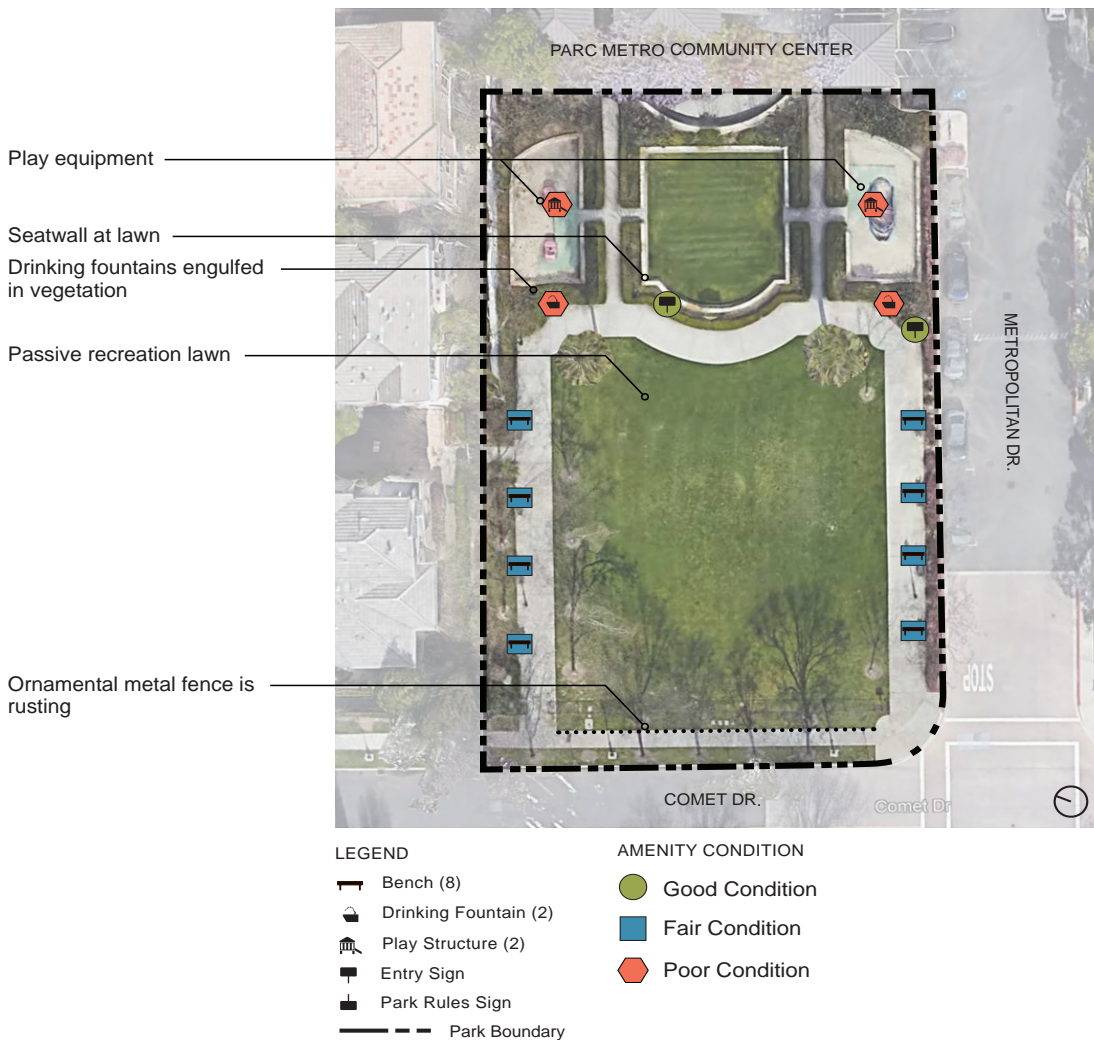
- Replace all picnic tables and barbeques, provide ADA accessible models. Provide ash receptacles.
- Replace all benches with current Milpitas standard.
- Spot repair concrete path: Grind areas that pose trip hazards.
- Repair drainage issues at lawn.
- Refurbish Restroom: Refurbish and conduct ADA study per Facility Condition Assessment.
- Landscape Maintenance: Weed and prune all overgrown landscaped areas, remove all dead or dying vegetation and ensure planting does not encroach on pathways. Prune vines on pergola annually. Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Mow and edge all lawn areas weekly.
- Conduct tree survey to identify hazardous trees.

Long Term Improvement

- Remove and Replace Play Areas: Replace structures and provide accessible ground level play elements. Replace sand surfacing with poured in place surfacing. Include integrated shade structures.
- Landscape and Irrigation: Replant planting areas with California Native drought tolerant planting and mulch with 3" layer of recycled wood mulch per Milpitas City standards. Adjust or repair irrigation as needed. Replace irrigation controller.

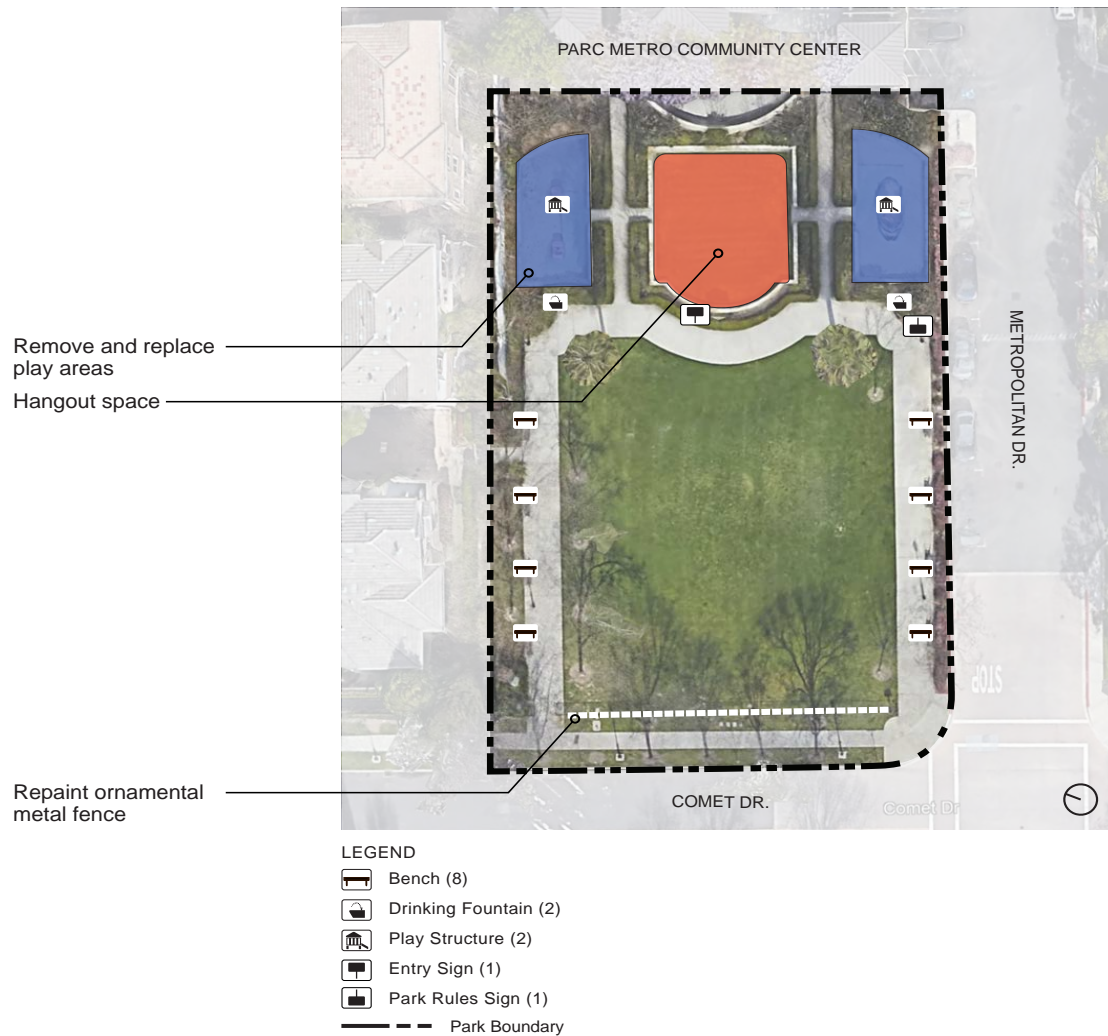
CEQA DOCUMENTATION

PARC METRO MIDDLE EXISTING SITE PLAN



CEQA DOCUMENTATION

PARC METRO MIDDLE PROPOSED SITE PLAN



CEQA DOCUMENTATION

PARC METRO MIDDLE SITE IMPROVEMENTS

Short Term Improvement

- Replace both drinking fountains with current Milpitas standard.
- Repaint ornamental metal fencing.
- Landscape Maintenance: Weed and prune all overgrown landscaped areas, remove all dead or dying vegetation and ensure planting does not encroach on pathways. Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Mow and edge all lawn areas weekly.

Long Term Improvement

- Hangout space: Concrete seating area with overhead shade structure, concrete ping pong tables and seating with integrated power/charging stations.
- Replace all benches with current Milpitas standard.
- Remove and replace Play Areas: Replace structures and provide accessible ground level play elements. Replace sand surfacing with poured in place surfacing. Include integrated shade structures.
- Landscape and Irrigation: Replant all landscape areas with drought tolerant California natives and mulch with 3" of landscape mulch. Repair and replace irrigation system as needed. Replace irrigation controller

CEQA DOCUMENTATION

PARC METRO WEST EXISTING SITE PLAN

Arbor

Chess tables

Arbor

Drainage issues at lawn

Ornamental metal fence

Arbor

Play area



AMENITY CONDITION

- Good Condition
- Fair Condition
- Poor Condition









LEGEND

- | | |
|-----------------------|--------------------------|
| Bench (21) | Park Rules Sign (1) |
| Bike Rack (1) | Picnic Table (4) |
| Drinking Fountain (2) | Play Structure (1) |
| Entry Sign (1) | Ornamental Metal Fencing |
| Park Boundary | |

CEQA DOCUMENTATION

PARC METRO WEST PROPOSED SITE PLAN

LEGEND

- | | |
|---|---|
|  Bench (21) |  Play Structure (1) |
|  Bike Rack (1) |  Picnic Table (4) |
|  Drinking Fountain (2) |  Entry Sign (1) |
|  Park Boundary |  Park Rules Sign (2) |

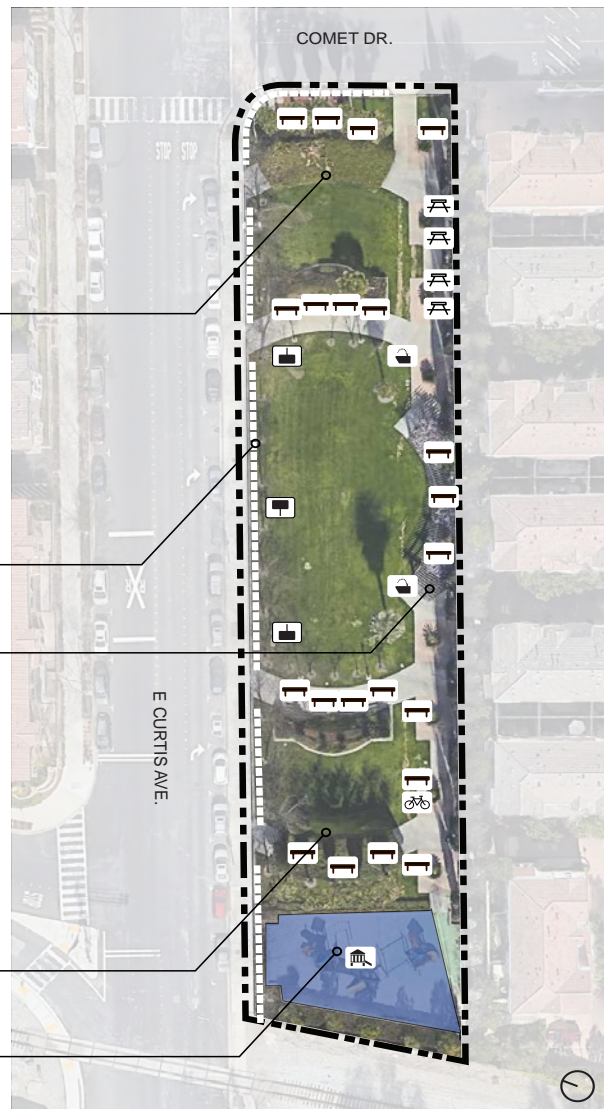
Prune vines

Repaint ornamental
metal fencing

Prune vines

Prune vines

Remove and replace play area



CEQA DOCUMENTATION

PARC METRO WEST SITE IMPROVEMENTS

Short Term Improvement

- Replace all picnic tables, provide ADA accessible models.
- Replace all benches with current Milpitas standard.
- Replace drinking fountains
- Replace bike rack
- Replace park rules signs
- Repair drainage issues at lawn
- Repaint ornamental metal fencing.
- Play Areas: Repair defunct or broken play equipment.
- Landscape Maintenance: Weed and prune all overgrown landscaped areas, remove all dead or dying vegetation and ensure planting does not encroach on pathways. Prune vines on pergola annually. Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Mow and edge all lawn areas weekly.

Long Term Improvement

- Remove and Replace Play Areas: Replace structures and provide accessible ground level play elements. Replace sand surfacing with poured in place surfacing. Include integrated shade structures.
- Landscape and Irrigation: Replant planting areas with California Native drought tolerant planting and mulch with 3" layer of recycled wood mulch per Milpitas City standards. Adjust or repair irrigation as needed. Replace irrigation controller.

CEQA DOCUMENTATION

PECOT PARK (BOB) EXISTING SITE PLAN



CEQA DOCUMENTATION

PECOT PARK (BOB)
PROPOSED SITE PLAN



CEQA DOCUMENTATION

PECOT PARK (BOB)

SITE IMPROVEMENTS

Short Term Improvement

- Replace existing bench with Milpitas standard.
- Slurry seal asphalt path
- Reseed turf areas where necessary
- Landscape Maintenance: Weed and prune all overgrown landscaped areas, remove all dead or dying vegetation and ensure planting does not encroach on pathways. Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Mow and edge all lawn areas weekly.

Long Term Improvement

- Add benches and trash/recycling receptacles along path.
- Landscape and Irrigation: Replant planting areas with California Native drought tolerant planting and mulch with 3" layer of recycled wood mulch per Milpitas City standards. Adjust or repair irrigation as needed. Replace irrigation controller.
- Right of way improvement: ADA curb ramps to be removed and replaced to current City standards on Dixon Road and Manfred St. Restripe crosswalks and install bollards to current city standards.

CEQA DOCUMENTATION

PETER GILL MEMORIAL PARK

EXISTING SITE PLAN

Connection to neighborhoods

Greenbelt connection to Oliver W. Jones Memorial Park

Play area is in disrepair with broken fencing and outdated equipment

Tennis courts in poor condition

Group picnic areas
- Shade structures (2)
- Picnic tables (7)
- Barbeques (3)

Exercise equipment court on decomposed granite

Handball court

Basketball court

ADA striping, however no accessible ramps to sidewalk are provided

Play area

Group picnic area, no ADA access

Baseball field is used as dog run

Access to shopping center via bridge over crossing



AMENITY CONDITION

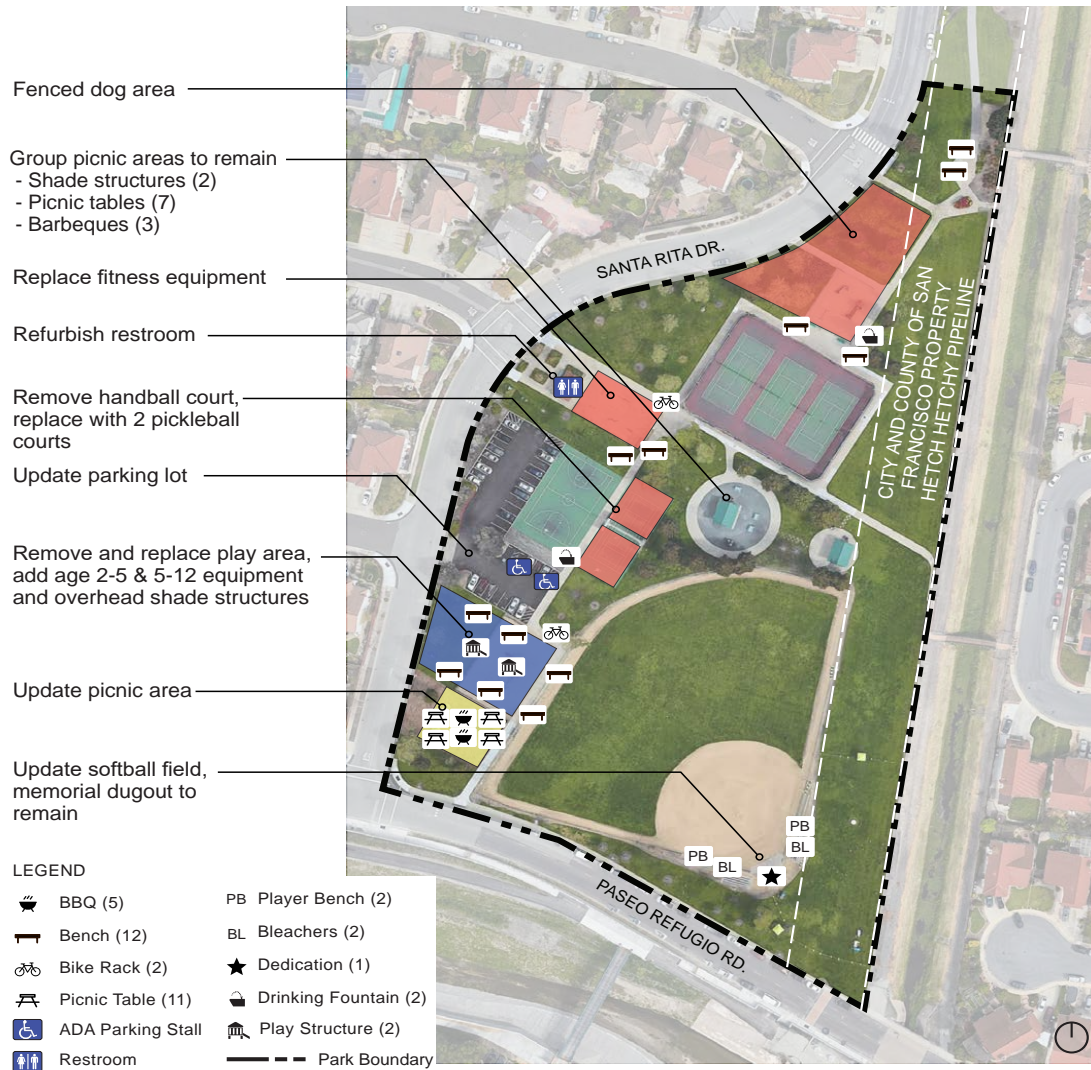
- Good Condition
- Fair Condition
- Poor Condition

LEGEND

- | | | |
|---------------|-----------------------|-------------------|
| Backstop (1) | PB Player Bench (2) | Picnic Table |
| BBQ (5) | BL Bleachers (2) | Play Structure |
| Bench (9) | ★ Dedication (1) | ADA Parking Stall |
| Bike Rack (1) | Drinking Fountain (2) | Restroom |
| Park Boundary | | |

CEQA DOCUMENTATION

PETER GILL MEMORIAL PARK PROPOSED SITE PLAN



CEQA DOCUMENTATION

PETER GILL MEMORIAL PARK SITE IMPROVEMENTS

Short Term Improvement

- Replace existing benches with Milpitas standard.
- Replace all existing picnic tables and barbeques with current Milpitas standard, provide ADA compliant models. Provide ash receptacles.
- Replace bike rack
- Resurface handball court
- Repair signage
- Play Areas: Replace chainlink fencing at north play area, repair existing equipment at both north and south play areas.
- Update parking lot: Add accessible ramp from parking lot to adjacent sidewalk.
- Many paths do not meet accessibility requirements. Assess and regrade where feasible.
- Refurbish Restroom: Refurbish and conduct ADA study per Facility Condition Assessment.
- Landscape Maintenance: Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Mow and edge all lawn areas weekly.

Long Term Improvement

- Update softball field. Repair backstop, dugouts, lighting, fencing and bleachers.
- Remove and Replace Play Areas: Remove north play area and expand southern area. Replace structures with both age 2-5 and 5-12 equipment and provide accessible ground level play elements. Replace sand surfacing with poured in place surfacing and engineered wood fiber. Replace fencing where necessary. Include integrated shade structures.
- Dog area: Add fenced off-leash dog area with fibar surfacing, small and large dog areas, and a fenced in entrance area. This will require a permit from the SFPUC to build on the Hetch Hetchy pipeline property.
- Update picnic area: Replace picnic tables and barbeques with current Milpitas standard. Provide two trash/recycle and two ash receptacles. Pave picnic areas with concrete and add overhead shade structure.
- Replace fitness equipment: Add new fitness court with poured in place surfacing.
- Right-of-Way Improvement: Install ADA curb ramps to current Milpitas standards. Include crosswalk striping, sidewalk and curb and gutter repairs and sidewalk expansion as needed.
- Landscape and Irrigation: with California Native drought tolerant planting, mulch with 3" layer of recycled wood mulch per Milpitas City standards. Adjust or repair irrigation as needed. Replace irrigation controller

CEQA DOCUMENTATION

PINEWOOD PARK EXISTING SITE PLAN



CEQA DOCUMENTATION

PINEWOOD PARK SITE IMPROVEMENTS

Short Term Improvement

- Playground equipment and surface repairs: Replace existing poured in place surfacing and engineered wood fiber with new. Replace the existing age 5-12 play structures.
- Replace basketball backboards hoops and nets
- Conduct tree survey to identify hazardous eucalyptus trees.
- Landscape Maintenance: Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Mow and edge all lawn areas weekly.
- Refurbish Restroom: Refurbish per Facility Condition Assessment.

Long Term Improvement

No long term improvements are proposed at the time of this document.

CEQA DOCUMENTATION

ROBERT E. BROWNE PARK EXISTING SITE PLAN



CEQA DOCUMENTATION

ROBERT E. BROWNE PARK PROPOSED SITE PLAN



CEQA DOCUMENTATION

ROBERT E. BROWNE PARK

SITE IMPROVEMENTS

Short Term Improvement

- Replace all benches with current Milpitas standard, placed on concrete pads to ensure accessibility.
- Replace drinking fountain
- Replace picnic table
- Replace bike rack
- Replace fitness stations
- Repair signage
- Repair tennis court fencing and netting
- Conduct tree study to identify hazardous trees.
- Spot repair asphalt path where cracking and heaving.
- Landscape Maintenance: Weed and prune all landscaped areas and prune trees where necessary, remove all dead or dying vegetation. Replace dead or dying plants with drought-tolerant California natives. Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Mow and edge all lawn areas weekly. Remove graffiti throughout the park.

Long Term Improvement

- Replace all asphalt paths with concrete.
- Add pedestrian lighting at.
- Add single stall restroom.
- Add additional benches and fitness stations along path.
- Add picnic area: Add concrete picnic area with Milpitas standard tables, barbeques, trash/recycle receptacles and ash receptacles. Provide overhead shade structure.
- Add two full size basketball courts with lighting
- Entrance node: Add small entrance plaza with seating, bike racks and wayfinding signage directing visitors to the nearby Murphy and Sinnott parks.
- Right of way improvements: Redesign west entrance to the park for accessibility. Provide ADA-accessible curb ramp, stairs, and landscaped areas. Re-stripe crosswalk to Murphy Park and add wayfinding signage and bollards. This work includes sidewalk and curb and gutter repairs and sidewalk expansion as needed.
- Landscape and Irrigation with California Native drought tolerant planting, mulch with 3" layer of recycled wood mulch per Milpitas City standards. Adjust or repair irrigation as needed. Replace irrigation controller.

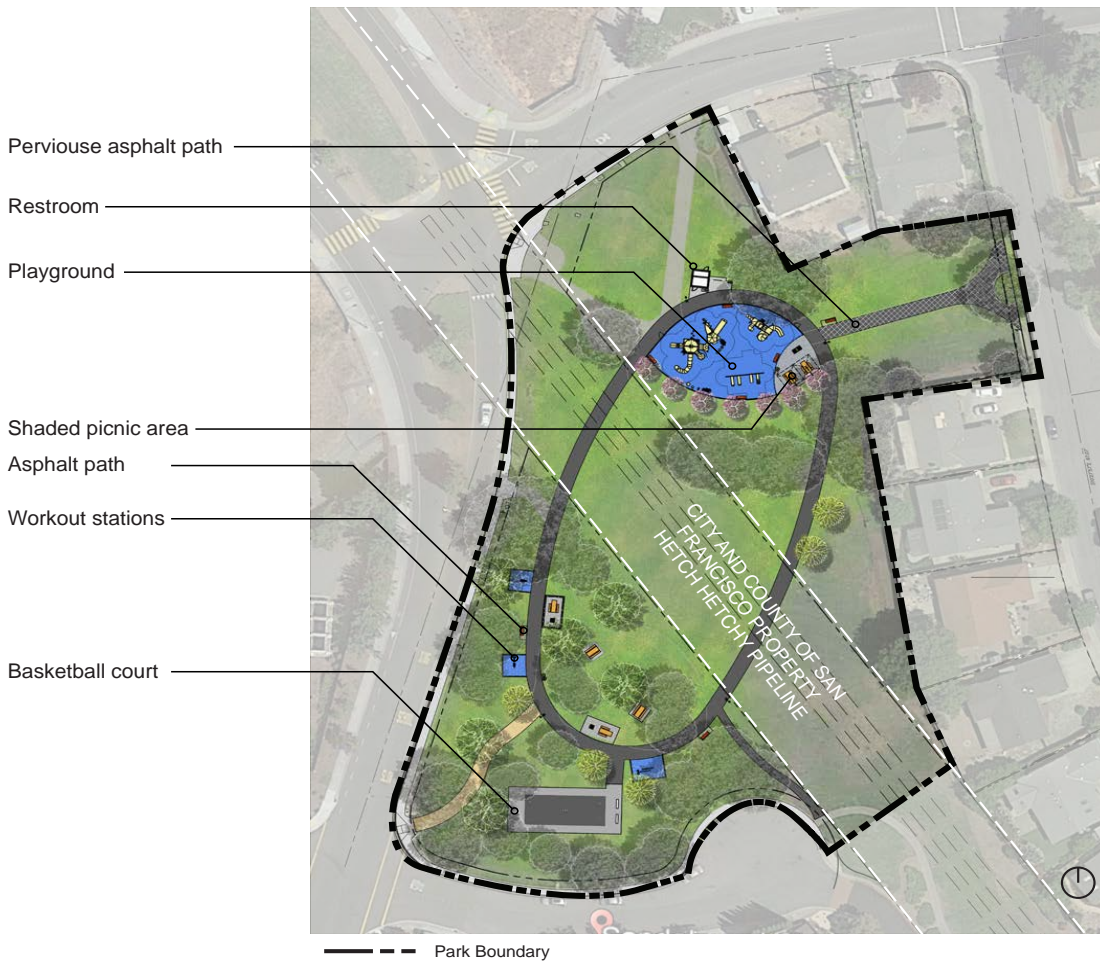
CEQA DOCUMENTATION

SANDALWOOD PARK EXISTING SITE PLAN



CEQA DOCUMENTATION

SANDALWOOD PARK PROPOSED SITE PLAN



CEQA DOCUMENTATION

SANDALWOOD PARK SITE IMPROVEMENTS

Short Term Improvement

- Replace all benches with current Milpitas standard, placed on concrete pads to ensure accessibility.
- Replace drinking fountains
- Replace picnic tables
- Replace bike racks
- Landscape Maintenance: Weed and prune all landscaped areas and prune trees where necessary, remove all dead or dying vegetation. Replace dead or dying plants with drought-tolerant California natives. Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Mow and edge all lawn areas weekly. Remove graffiti throughout the park.

Long Term Improvements

The proposed improvement plans include an all-inclusive playground area and fitness stations, large picnic area with shade structures, new restroom, asphalt pathways, converting the existing horseshoes pit into a basketball court, updating small picnic areas, and adding pedestrian lighting.

CEQA DOCUMENTATION

SELWYN PARK EXISTING SITE PLAN

Sand from play area fills
perimeter planting areas

Play surfacing separating
from concrete walk. 1" gap

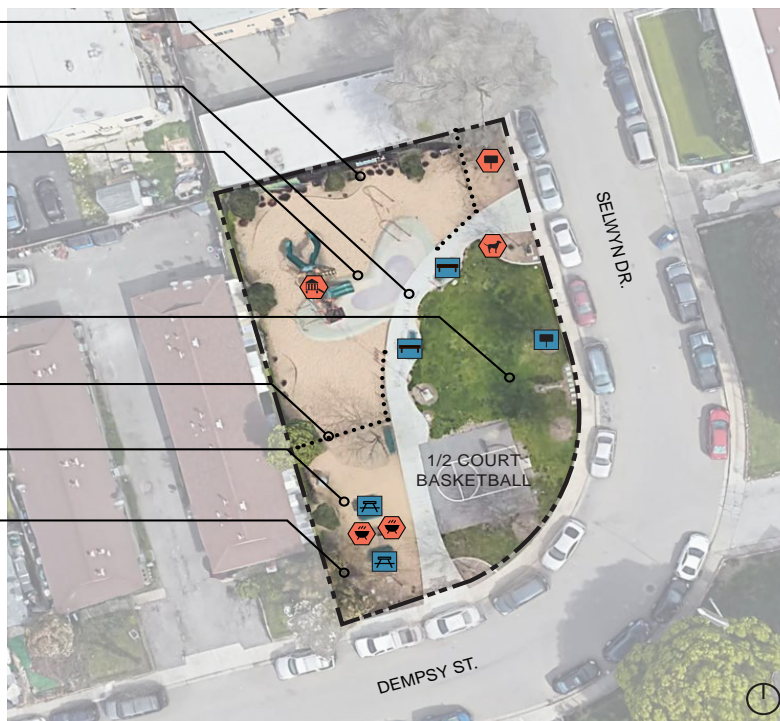
Sand at play structure is
low. 8"-12" drop from play
surfacing

Patchy turf

Fencing missing panels
throughout park

Sand from play area filling
group picnic areas

No ADA access to
picnic area



LEGEND

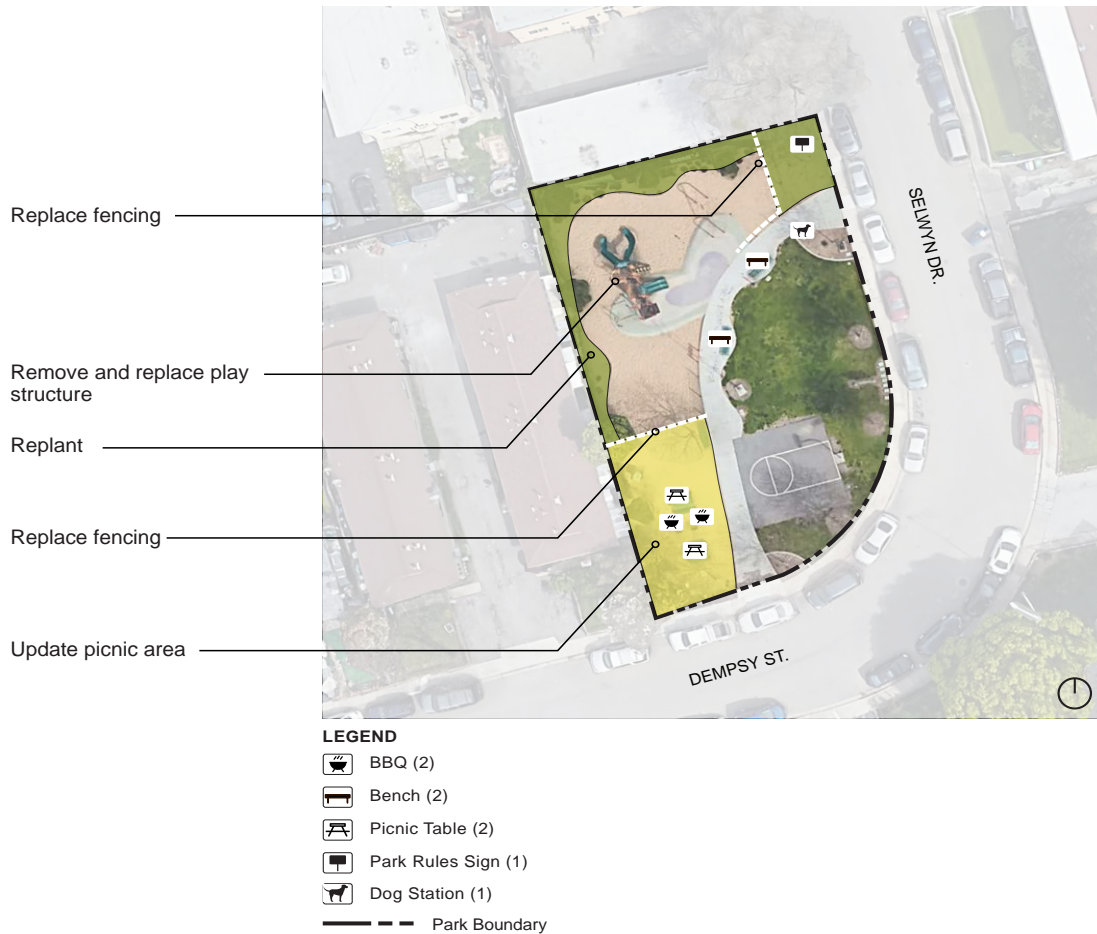
BBQ (2)	Play Structure (1)
Bench (2)	Entry Sign (1)
Picnic Table (2)	Ornamental Metal Fence
Park Boundary	

AMENITY CONDITION

Good Condition
Fair Condition
Poor Condition

CEQA DOCUMENTATION

SELWYN PARK PROPOSED SITE PLAN



CEQA DOCUMENTATION

SELWYN PARK SITE IMPROVEMENTS

Short Term Improvement

- Update picnic area: Replace picnic tables and barbeques with current Milpitas standard, provide ADA accessible models. Provide ash receptacles.
- Playground equipment and surface repairs: Repair damaged portions of poured in place surfacing, replace existing sand surfacing with engineered wood fiber. Update play equipment per Milpitas Playground Rehabilitation Project.
- Replace fencing with Milpitas standard ornamental metal fencing.
- Replace park rules sign.
- Replace dog station.

Long Term Improvements

- Pave picnic areas with concrete and add overhead shade structure.
- Remove and replace play area: Replace structures and provide accessible ground level play elements. Replace poured in place surfacing and engineered wood fiber. Include integrated shade structures.
- Replace all benches with current Milpitas standard. Provide companion seating.
- Replace Landscape and Irrigation: Replant and mulch landscaped areas with drought tolerant California native planting. Adjust irrigation system as needed. Weed, prune, replenish mulch and fertilize quarterly or as needed. Replace irrigation system and controller.

CEQA DOCUMENTATION

SINNOTT PARK (JOHN) EXISTING SITE PLAN

- Bike trail
- Fitness equipment court in poor condition, poses a safety hazard
- Gravel paths throughout site have severe erosion issues, including major gaps at transitions to surrounding sidewalks and paving.
- Passive use lawn
- Sand volleyball pitch
- Play area
- Picnic area



LEGEND

- | | |
|---------------------|---|
| BBQ (3) | Drinking Fountain (1) |
| Bench (5) | Picnic Table (3) |
| Bike Rack (1) | Play Structure (1) |
| Dog Station (1) | Restroom (1) |
| Entry Sign (2) | Fitness equipment court (~15 pieces of equipment) |
| Park Rules Sign (1) | |
| Park Boundary | |

AMENITY CONDITION

- Good Condition
- Fair Condition
- Poor Condition

CEQA DOCUMENTATION

SINNOTT PARK (JOHN) PROPOSED SITE PLAN



CEQA DOCUMENTATION

SINNOTT PARK (JOHN)

SITE IMPROVEMENTS

Short Term Improvement

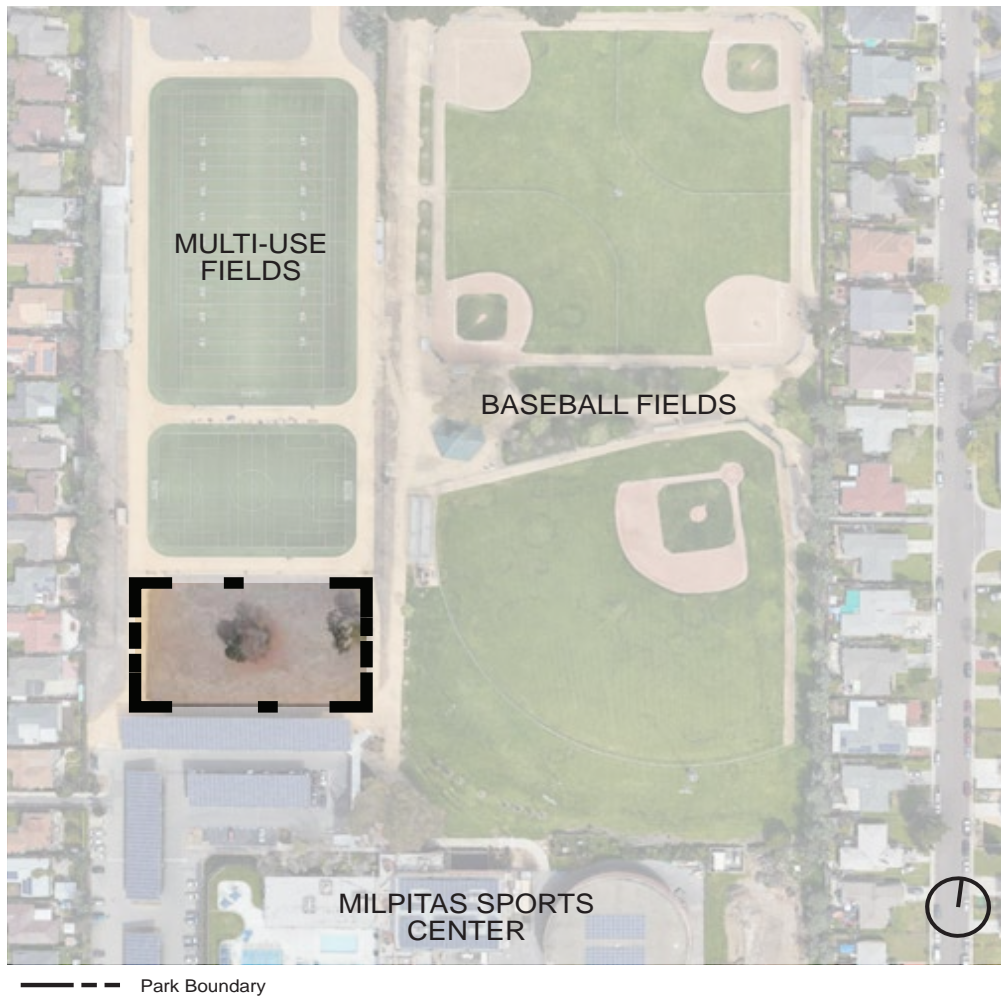
- Replace fitness equipment: Add new fitness court with poured in place surfacing. Replace all benches with Milpitas standard, placed on concrete pads to ensure accessibility. Provide companion seating.
- Replace picnic tables and barbeques with current Milpitas standard, provide ADA models, provide ash receptacles.
- Replace benches.
- Replace bike rack.
- Replace park rules sign.
- Replace dog waste station.
- Repair swingset.
- Spot repair gravel paths at transitions to hardscape to remove ADA access impediments. Repair localized drainage issues.
- Conduct tree survey by certified arborist to identify and remove hazardous trees.
- Refurbish Restroom: Refurbish and conduct ADA study per Facility Condition Assessment.
- Landscape Maintenance: Weed and prune all landscaped areas and prune trees where necessary, remove all dead or dying vegetation. Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Mow and edge all lawn

Long Term Improvements

- Add community garden: Fenced community garden with raised wood planters, irrigation and fiber surfacing.
- Add pickleball courts: Add three full size pickleball courts with fencing, surfacing, benches and nets.
- Remove and replace play area: Replace structures and provide accessible ground level play elements. Replace sand surfacing with poured in place surfacing and engineered wood fiber. Replace fencing where necessary. Include integrated shade structures.
- Pave picnic area, add trash/recycle receptacles and provide shade structure
- Replace all gravel paths with 9' wide concrete paths. Regrade and improve drainage as necessary.
- Add wayfinding signage at north entrance.
- Add pedestrian lighting.
- Right-of-Way Improvement: Installation of ADA curb ramps and bollards at entrances. Sidewalk and curb and gutter repairs and sidewalk expansion as necessary to accommodate improvements

CEQA DOCUMENTATION

SKATEPARK - MILPITAS SPORTS CENTER COMPLEX EXISTING SITE PLAN



CEQA DOCUMENTATION

SKATEPARK - MILPITAS SPORTS CENTER COMPLEX SITE IMPROVEMENTS

No improvements are recommended at the time of this document.

CEQA DOCUMENTATION

STARLITE PARK EXISTING SITE PLAN



CEQA DOCUMENTATION

STARLITE PARK PROPOSED SITE PLAN



LEGEND

Bench (11)	BBQ (5)	Restroom
Picnic Table (10)	Bike Rack (2)	Park Boundary
Entry Sign (1)	Art (1)	
Park Rules Sign (2)	Drinking Fountain (1)	

CEQA DOCUMENTATION

STARLITE PARK SITE IMPROVEMENTS

Short Term Improvements

- Remove and replace play area: Replace structures and provide accessible ground level play elements. Replace sand surfacing with poured in place surfacing and engineered wood fiber. Replace fencing where necessary. Include integrated shade structures.
- Replace picnic tables and barbeques with current Milpitas standard, provide ADA models, provide ash receptacles.
- Replace benches, place on concrete pads to ensure accessibility.
- Replace bike rack.
- Repair park rules sign.
- Repair Art piece from vandalism.
- Conduct tree survey by certified arborist to identify and remove hazardous trees.
- Refurbish Restroom: Refurbish and conduct ADA study per Facility Condition Assessment.
- Landscape Maintenance: Weed and prune all landscaped areas and prune trees where necessary, remove all dead or dying vegetation. Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Mow and edge all lawn areas weekly.

Long Term Improvements

- Add pump track: Add compacted soil pump track with beginner and advanced tracks, bike racks, bike stations, seating and perimeter fencing. Add safety and regulatory signage.
- Update picnic area: Pave picnic areas with concrete and add overhead shade structure where trees do not provide shade. Provide trash recycle and ash receptacles.
- Remove horseshoe pits and replace with small picnic area.
- Replace all gravel paths with 9' wide concrete paths
- Replace pedestrian lighting
- Landscape and Irrigation: with California Native drought tolerant planting, mulch with 3" layer of recycled wood mulch per Milpitas City standards. Adjust or repair irrigation as needed. Replace irrigation controller.
- Right-of-Way Improvement: Install ADA curb ramps at all park entrances, provide bollards. Restripe crosswalk striping, expand sidewalk and repair curb and gutter as needed.

CEQA DOCUMENTATION

STRICKROTH PARK (HENRY) EXISTING SITE PLAN

Aging trees pose an immediate safety hazard

Picnic area

Decomposed granite path

Metal fencing in poor condition

2-5 play area

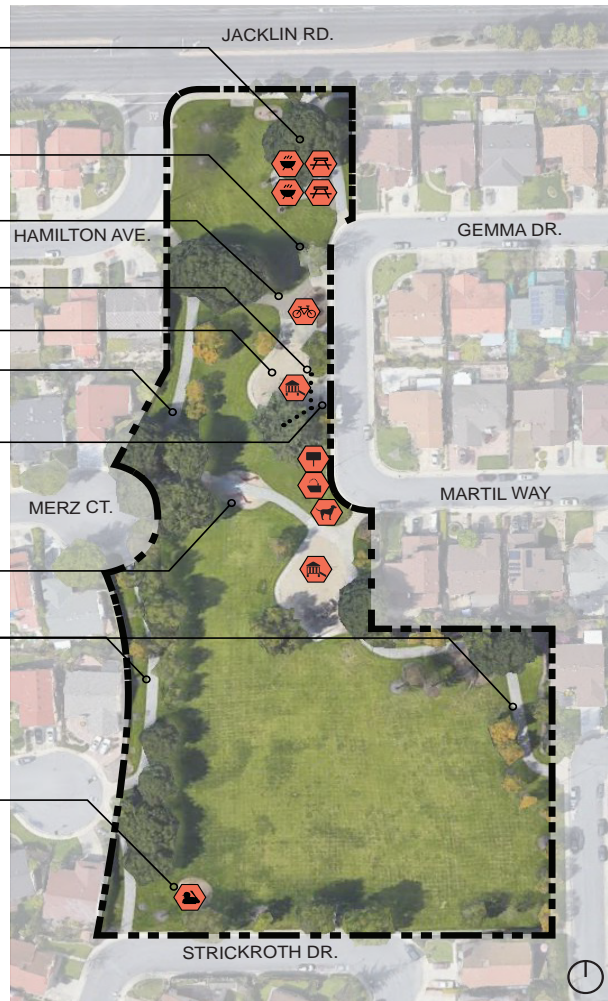
Asphalt path

Trees missing from sidewalk planters

Tunnel feature

Asphalt path

Informal baseball field



AMENITY CONDITION

- Good Condition
- Fair Condition
- ⬡ Poor Condition

LEGEND

- Backstop (1)
- BBQ (2)
- Bike Rack (1)
- Dog Station (1)
- Drinking Fountain (1)
- Picnic Table (2)
- Play Structure (2)
- Entry Sign (1)
- Park Boundary

CEQA DOCUMENTATION

STRICKROTH PARK (HENRY) PROPOSED SITE PLAN



CEQA DOCUMENTATION

STRICKROTH PARK (HENRY) SITE IMPROVEMENTS

Short Term Improvement

- Replace picnic tables and barbeques with current Milpitas standard, provide ADA models, provide ash receptacles.
- Refurbish hill tunnel play feature: Add safety surfacing and safety railings at bridge. Repaint tunnel interior and remove all rust and jagged edges.
- Replace bike rack.
- Repair park rules sign.
- Replace dog waste station
- Replace drinking fountain
- Replace ornamental metal fencing at play area
- Conduct tree survey by certified arborist to identify pruning and removal of hazardous trees.
- Landscape Maintenance: Weed and prune all landscaped areas and prune trees where necessary, remove all dead or dying vegetation. Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Mow and edge all lawn areas weekly.

Long Term Improvements

- Add cricket pitch: Add cricket pitch infield and close infield striping.
- Add parking lot with at least 20 car capacity, accessed off Corinthia Dr.
- Remove and replace play area: Replace structures and provide accessible ground level play elements. Replace sand surfacing with poured in place surfacing and engineered wood fiber. Replace fencing at north play area with Milpitas standard ornamental metal fencing. Include integrated shade structures.
- Update picnic area: Pave picnic areas with concrete and add overhead shade structure where existing tree canopies do not provide shade. Provide trash/recycle and ash receptacles.
- Replace all asphalt and decomposed granite paths with 9' wide concrete paths.
- Regrade and improve drainage where necessary.
- Add pedestrian lighting.
- Add single stall restroom
- Add benches, place on concrete pads.
- Replace baseball backstop.
- Landscape and Irrigation: with California Native drought tolerant planting, mulch with 3" layer of recycled wood mulch per Milpitas City standards. Adjust or repair irrigation as needed. Replace irrigation controller.
- Right-of-Way Improvement: Install ADA curb ramps at all park entrances, provide bollards. Restripe crosswalk striping, expand sidewalk and repair curb and gutter as needed.

CEQA DOCUMENTATION

SUNNYHILLS ALBERT AUGUSTINE MEMORIAL PARK EXISTING SITE PLAN



CEQA DOCUMENTATION

SUNNYHILLS ALBERT AUGUSTINE MEMORIAL PARK PROPOSED SITE PLAN



CEQA DOCUMENTATION

SUNNYHILLS ALBERT AUGUSTINE MEMORIAL PARK SITE IMPROVEMENTS

Short Term Improvement

- Replace north entry sign with Milpitas standard.
- Playground equipment and surface repairs: Replace existing sand surfacing with poured in place surfacing and engineered wood fiber. Replace all fencing with 42" black vinyl coated chain link. Replace equipment per the Milpitas Playground rehabilitation project.
- Replace all picnic tables and barbeque's with current Milpitas standard, provide ADA accessible models and ash receptacles.
- Replace all benches with current Milpitas standard, place on concrete pads to ensure accessibility.
- Replace dog waste station
- Refurbish Restroom: Refurbish and conduct ADA study per Facility Condition Assessment. Prune vines on attached trellis structure.
- Landscape Maintenance: Weed and prune all landscaped areas and prune trees where necessary, remove all dead or dying vegetation. Replace dead or dying plants with drought-tolerant California natives. Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Mow and edge all lawn areas weekly.

Long Term Improvement

- Replace decomposed granite walking path with 9' wide concrete path. Ensure proper drainage.
- Community Event Space: Community plaza area with perimeter seating and overhead shade structure.
- Remove and Replace Play Areas: Replace existing play equipment with structures that provide accessible ground level play elements and integrated shade structures. Replace poured in place surfacing and engineered wood fiber. Replace all fencing with 42" black vinyl coated chain link.
- Add 20-car parking lot along Coelho St.
- Add 6 fitness stations along loop path.
- Pave picnic areas with concrete, add shade structures where existing tree canopies do not provide shade.
- Dog Areas: Add a fenced dog area with separate small and large dog spaces, fenced entry area, dog stations and benches.
- Replace pedestrian lighting.
- Right of Way Improvement: Install ADA curb ramps at park entrances, accessibility signage, driveway approaches with bollards, crosswalk striping, and sidewalk, curb and gutter repairs as needed.

CEQA DOCUMENTATION




TOM EVATT PARK EXISTING SITE PLAN

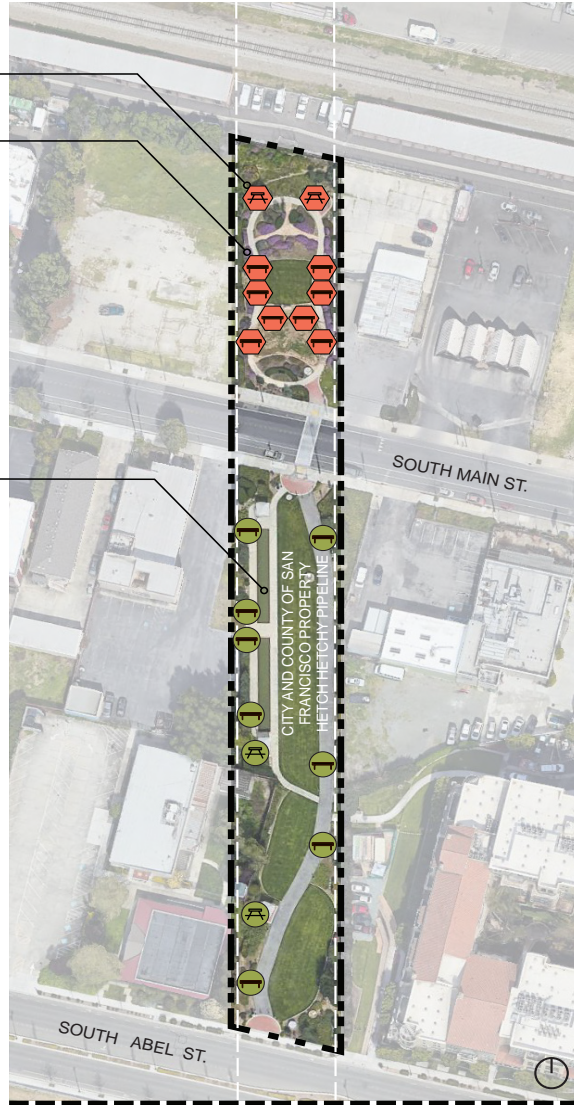
Picnic area

Butterfly garden

Bocce courts

LEGEND (This Sheet)

-  Bench (16)
-  Picnic Table (4)
-  Park Boundary
- AMENITY CONDITION
-  Good Condition
-  Fair Condition
-  Poor Condition



MATCHLINE 1: SEE MATCHLINE 2

CEQA DOCUMENTATION

TOM EVATT PARK EXISTING SITE PLAN

Picnic area

Passive use lawn

LEGEND (This Sheet)

— Bench (5)

— Picnic Table (3)

— BBQ (2)

--- Park Boundary

AMENITY CONDITION

● Good Condition

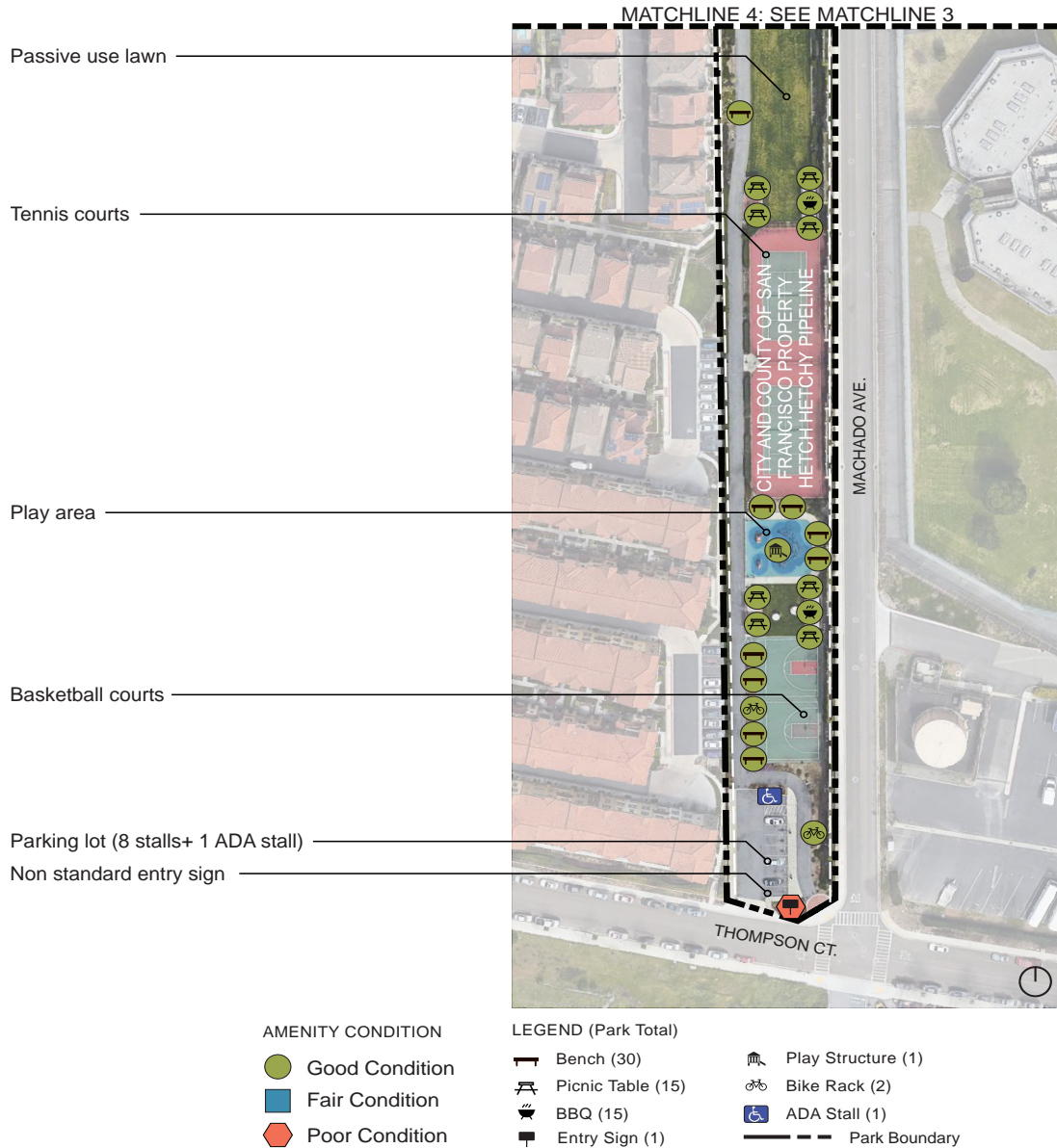
■ Fair Condition

● Poor Condition



CEQA DOCUMENTATION

TOM EVATT PARK EXISTING SITE PLAN



CEQA DOCUMENTATION

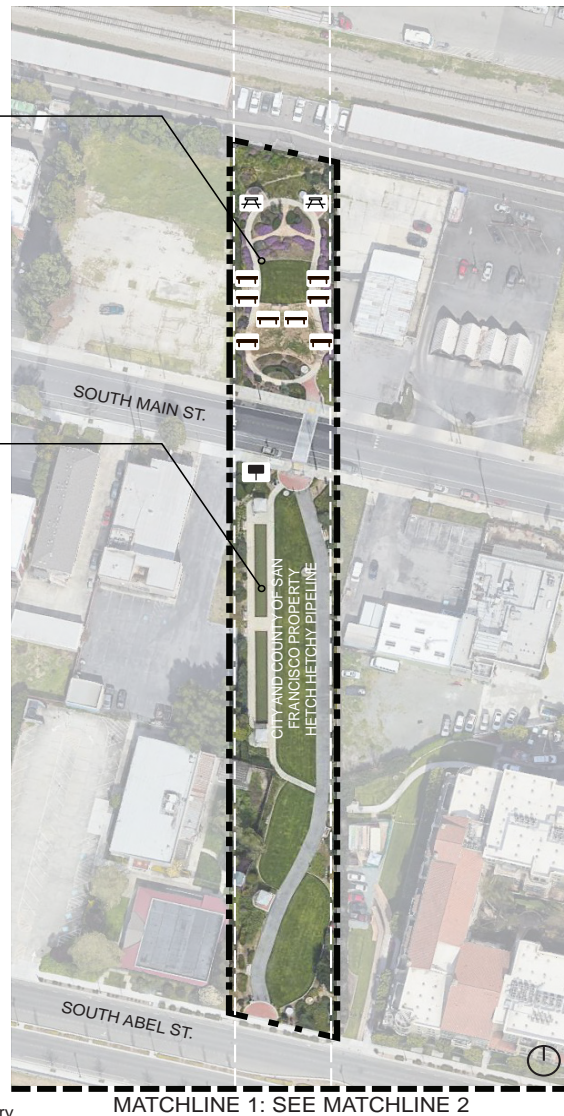
TOM EVATT PARK PROPOSED SITE PLAN

Replant butterfly garden and
replace sod at garden

Refurbish bocce ball courts

LEGEND (This Sheet)

-  Bench (8)
-  Picnic Table (2)
-  Entry Sign (1)
-  Park Boundary



CEQA DOCUMENTATION

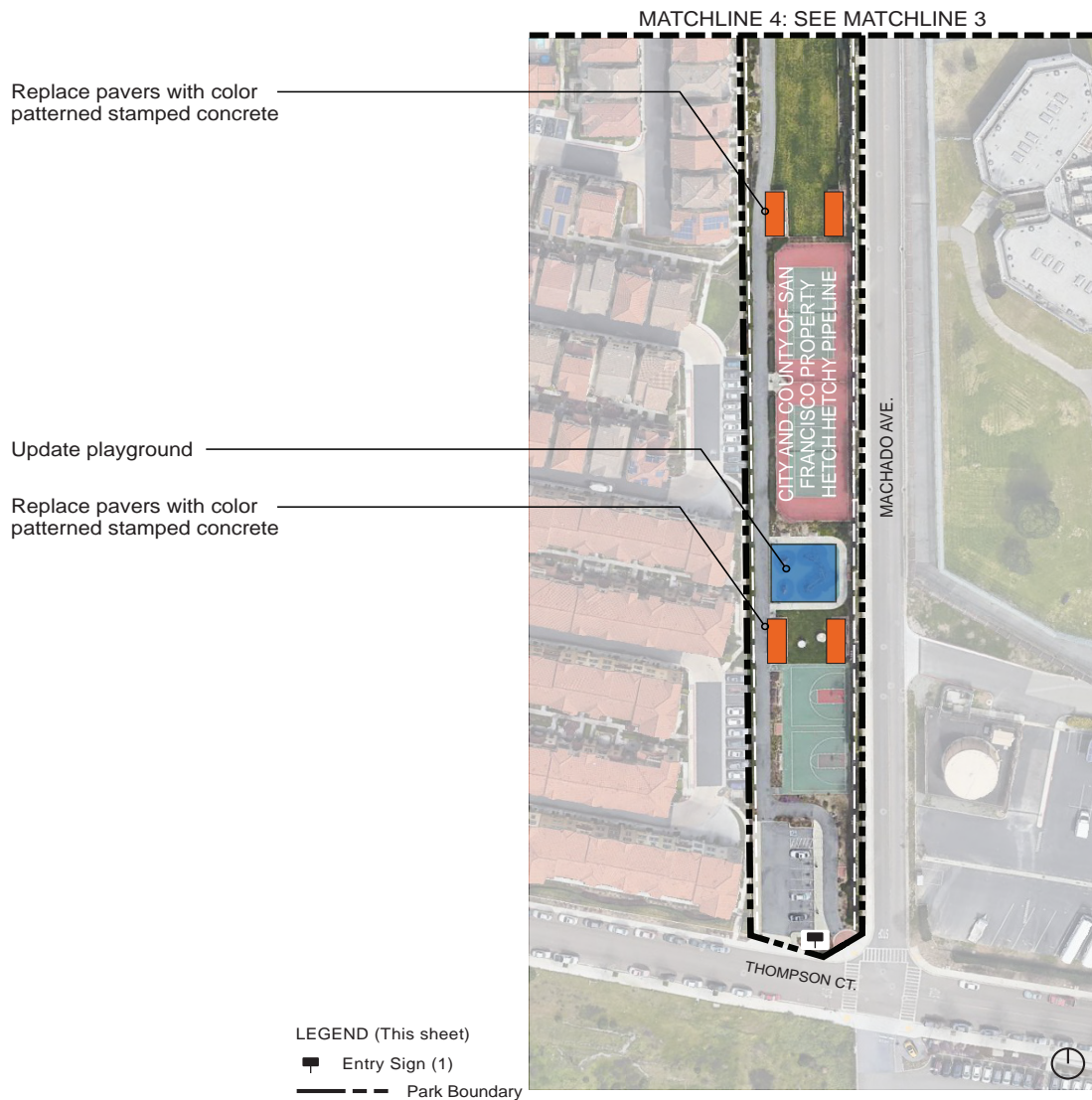
TOM EVATT PARK PROPOSED SITE PLAN

Replace pavers with color
patterned stamped concrete



CEQA DOCUMENTATION

TOM EVATT PARK PROPOSED SITE PLAN



CEQA DOCUMENTATION

TOM EVATT PARK SITE IMPROVEMENTS

Short Term Improvement

- Update Playground: Replace safety surfacing. Remove the Diagonal Saucer Rope Climber and Rocking Seat equipment per the Milpitas Playground rehabilitation project.
- Replant: Replant Butterfly Garden with California Native butterfly planting such as Buckwheat, Yarrow, Mimulus, and Milkweed. Mulch with 3" layer of recycled wood mulch per Milpitas City standards. Adjust or repair irrigation as needed.
- Replace all sod at Butterfly Garden
- Replace all benches and picnic tables at butterfly garden with Milpitas standard.
- Refurbish bocce ball courts: Remove weeds from artificial turf surfacing, replace where necessary. Replace court sidewalls.
- Replace all pedestrian pavers with color patterned stamped concrete.
- Replace entry signs with Milpitas Standard
- Remove graffiti throughout site.
- Landscape Maintenance: Weed and prune all overgrown landscaped areas, remove all dead or dying vegetation and ensure planting does not encroach on pathways. Weed, prune and fertilize all landscaped areas quarterly, mulch annually or as needed. Mow and edge all lawn areas weekly.

Long Term Improvements

- No long term improvements proposed at the time of this document.

CEQA DOCUMENTATION



City of Milpitas

455 E. Calaveras Blvd., Milpitas, CA 95035
www.ci.milpitas.ca.gov

Engineering Division

Phone: (408) 583-3300

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City of Milpitas – Engineering Department
455 E. Calaveras Blvd.
Milpitas, California 95035
**Parks & Recreation Master Plan Update
AB-52 Consultation Meeting
Minutes**

Date : August 26, 2021
Location & Time : Team Meeting, 1:00 PM – 1:30 PM
Attendees : Lyhak Eam (LE), Michael Silveira (MS), Demetri Loukas (DL),
Fiona Phung (FP), Quirina Geary (QG)

1. OBJECTIVE

The purpose of this meeting is to discuss the Formal Request for Tribal Consultation letter that the City received on August 19, 2021 from Tamien Nation regarding the Parks and Recreation Master Plan Update Project

2. DISCUSSION

- City provided a brief overview of the project and explained that this Master Plan document is a visioning document rather than an implementation plan. It identified potential upgrades and enhancement opportunities at each park site that the City can use as a guideline for future improvement and implementation.
- The CEQA document was prepared at a program-level and not a specific project-level, thus the information requested by Tamien Nation is not currently available.
- Once a project is funded and ready for the design and construction, the City will conduct a site specific CEQA analysis, notify Tamien Nation, follow AB-52 process and provide any information as required.
- QG requested some educational/interpretative signages to be installed at certain park locations once the park is being renovated. LE confirmed this request can be reviewed and considered during the community outreach process for the park improvement.

3. CONCLUSION

- QG confirmed that no further action is required from the City in response to the consultation service letter, dated August 19, 2021, and the consultation service pursuant to CEQA and AB-52 has been concluded.

CEQA DOCUMENT DECLARATION (OCT. 2021)

County of Santa Clara
Office of the County Clerk-Recorder
Business Division

County Government Center
70 West Hedding Street, E. Wing, 1st Floor
San Jose, California 95110 (408) 299-5688

**CEQA DOCUMENT DECLARATION**ENVIRONMENTAL FILING FEE RECEIPT

PLEASE COMPLETE THE FOLLOWING:

1. LEAD AGENCY: City of Milpitas
2. PROJECT TITLE: Milpitas Park and Recreation Master Plan Update
3. APPLICANT NAME: City of Milpitas PHONE: (408) 586-3000
4. APPLICANT ADDRESS: 455 East Calaveras Boulevard, Milpitas, CA 95035
5. PROJECT APPLICANT IS A: ☒ Local Public Agency ☐ School District ☐ Other Special District ☐ State Agency ☐ Private Entity
6. NOTICE TO BE POSTED FOR 30 DAYS.

7. CLASSIFICATION OF ENVIRONMENTAL DOCUMENTa. PROJECTS THAT ARE SUBJECT TO DFG FEES

<input type="checkbox"/> 1. <u>ENVIRONMENTAL IMPACT REPORT</u> (PUBLIC RESOURCES CODE §21152)	\$ 3,445.25	\$ 0.00
<input checked="" type="checkbox"/> 2. <u>NEGATIVE DECLARATION</u> (PUBLIC RESOURCES CODE §21080(C))	\$ 2,480.25	\$ 2,480.25
<input type="checkbox"/> 3. <u>APPLICATION FEE WATER DIVERSION</u> (STATE WATER RESOURCES CONTROL BOARD ONLY)	\$ 850.00	\$ 0.00
<input type="checkbox"/> 4. <u>PROJECTS SUBJECT TO CERTIFIED REGULATORY PROGRAMS</u>	\$ 1,171.25	\$ 0.00
<input checked="" type="checkbox"/> 5. <u>COUNTY ADMINISTRATIVE FEE</u> (REQUIRED FOR a-1 THROUGH a-4 ABOVE) Fish & Game Code §711.4(e)	\$ 50.00	\$ 50.00

b. PROJECTS THAT ARE EXEMPT FROM DFG FEES

<input type="checkbox"/> 1. <u>NOTICE OF EXEMPTION</u> (\$50.00 COUNTY ADMINISTRATIVE FEE REQUIRED)	\$ 50.00	\$ 0.00
<input type="checkbox"/> 2. <u>A COMPLETED "CEQA FILING FEE NO EFFECT DETERMINATION FORM" FROM THE DEPARTMENT OF FISH & GAME, DOCUMENTING THE DFG'S DETERMINATION THAT THE PROJECT WILL HAVE NO EFFECT ON FISH, WILDLIFE AND HABITAT, OR AN OFFICIAL, DATED RECEIPT / PROOF OF PAYMENT SHOWING PREVIOUS PAYMENT OF THE DFG FILING FEE FOR THE *SAME PROJECT IS ATTACHED</u> (\$50.00 COUNTY ADMINISTRATIVE FEE REQUIRED)		
DOCUMENT TYPE: <input type="checkbox"/> ENVIRONMENTAL IMPACT REPORT <input type="checkbox"/> NEGATIVE DECLARATION	\$ 50.00	\$ 0.00

c. NOTICES THAT ARE NOT SUBJECT TO DFG FEES OR COUNTY ADMINISTRATIVE FEES

<input type="checkbox"/> NOTICE OF PREPARATION	<input type="checkbox"/> NOTICE OF INTENT	NO FEE	\$ NO FEE
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8. OTHER: _____ FEE (IF APPLICABLE): \$ _____

9. TOTAL RECEIVED..... \$ 2,480.25

*NOTE: "SAME PROJECT" MEANS **NO** CHANGES. IF THE DOCUMENT SUBMITTED IS NOT THE SAME (OTHER THAN DATES), A "NO EFFECT DETERMINATION" LETTER FROM THE DEPARTMENT OF FISH AND GAME FOR THE SUBSEQUENT FILING OR THE APPROPRIATE FEES ARE REQUIRED.

THIS FORM MUST BE COMPLETED AND ATTACHED TO THE FRONT OF ALL CEQA DOCUMENTS LISTED ABOVE (INCLUDING COPIES) SUBMITTED FOR FILING. WE WILL NEED AN ORIGINAL (WET SIGNATURE) AND TWO (2) COPIES. IF THERE ARE ATTACHMENTS, PLEASE PROVIDE THREE (3) SETS OF ATTACHMENTS FOR SUBMISSION. (YOUR ORIGINAL WILL BE RETURNED TO YOU AT THE TIME OF FILING.)

CHECKS FOR ALL FEES SHOULD BE MADE PAYABLE TO: SANTA CLARA COUNTY CLERK-RECORDER

PLEASE NOTE: FEES ARE ANNUALLY ADJUSTED (Fish & Game Code §711.4(b); PLEASE CHECK WITH THIS OFFICE AND THE DEPARTMENT OF FISH AND GAME FOR THE LATEST FEE INFORMATION.

"... NO PROJECT SHALL BE OPERATIVE, VESTED, OR FINAL, NOR SHALL LOCAL GOVERNMENT PERMITS FOR THE PROJECT BE VALID, UNTIL THE FILING FEES REQUIRED PURSUANT TO THIS SECTION ARE PAID." Fish & Game Code §711.4(c)(3)

(Fees Effective 01-01-2021)

CEQA NOTICE OF DETERMINATION (OCT. 2021)



MILPITAS PARKS AND RECREATION MASTER PLAN UPDATE

455 East Calaveras Boulevard, Milpitas, CA 94087 | 408.586.3000 Phone | www.ci.milpitas.ca.gov

NOTICE OF DETERMINATION

To: Office of the County Clerk
County of Santa Clara
County Government Center
70 West Hedding Street, E. Wing, 1st Floor
San José, CA 95110

From: City of Milpitas
Planning Department
455 East Calaveras Boulevard
Milpitas, CA 95035

Subject: Filing of Notice of Determination in compliance with Section 21152 of the Public Resources Code

Project Title: Milpitas Park and Recreation Master Plan Update

Project Location: The proposed Milpitas Park and Recreation Master Plan Update (Master Plan Update) consists of the 36 existing parks within the City of Milpitas.

State Clearinghouse Number: NA

Lead Agency Contact Person: Lyhak Eam

Area Code/Telephone: (408) 586-3349

Project Description: The Master Plan Update is a strategic document that analyzes each of the City's existing parks and identifies improvements to enhance the City's existing public parks and recreation system. The improvements range from maintenance of existing landscaping to the addition of new park amenities such as outdoor community event space, sports fields, and restroom facilities. The Master Plan Update does not identify or recommend construction of new parks within the City.

The 36 existing parks within the City are not included on the list of hazardous materials sites compiled pursuant to Government Code Section 65962.5.

This is to advise that the **City of Milpitas** approved the above described project on November 16, 2021, and made the following determinations regarding the proposed project:

1. The project **will not** have a significant effect on the environment.
2. A **Negative Declaration** was prepared for this project pursuant to the provisions of CEQA.
3. Mitigation measures **were not** made a condition of the approval of the project.
4. A Mitigation Monitoring or Reporting Plan **was not** adopted for this project.
5. A Statement of Overriding Considerations **was not** adopted for this project.
6. Findings **were not** made pursuant to the provisions of CEQA (Section 15091).

CEQA NOTICE OF DETERMINATION (OCT. 2021)

This is to certify that the Negative Declaration, Initial Study, and record of project approval are available to the General Public at the following addresses:

Milpitas Public Library 160 North Main Street Milpitas, CA 95035 (408) 262-1171	City of Milpitas, Planning Department 455 East Calaveras Blvd. Milpitas, CA 95035 (408) 586-3279
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		Planning Director
Ned Thomas	Date	Title

APPENDIX: CEQA DOCUMENTATION

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COST RECOVERY RESOLUTION

This section includes Resolution approving a Cost Recovery Policy for the Milpitas Recreation & Community Services Department. This document was signed and adopted by City Council on March 16, 2021.

APPENDIX: COST RECOVERY RESOLUTION

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COST RECOVERY RESOLUTION

RESOLUTION NO. 9049

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MILPITAS APPROVING THE COST RECOVERY POLICY FOR THE RECREATION AND COMMUNITY SERVICE DEPARTMENT

WHEREAS, the City of Milpitas's (City's) General Fund and Park Fund are the primary two sources of funding for the improvement and renovation of City park facilities. These two funding sources do not adequately fund the minimum level of park improvements required; and

WHEREAS, the recently voter approved Measure F sales tax is anticipated to generate \$6.2 million annually and can be used to help fund park improvements and

WHEREAS, Recreation and Community Services programs and the Milpitas Assistance Program, formerly known as MAP, are funded through the General Fund. The Milpitas Assistance Program supports low-income families and individuals needing financial assistance to participate in City Recreation and Community Services programs; and

WHEREAS, the Matrix Consulting Group (Matrix) completed an assessment of City recreation programs, fees, and existing cost recovery percentages compared with other Bay Area municipalities. The comparative analysis included Fremont, Mountain View, Redwood City and San Jose. Matrix determined that Milpitas recreation services/programs and fees charged are generally in alignment with these other agencies, but recommended the City update its policy on cost recovery targets; and

WHEREAS, Per MMC section IV-3-4.00, the cost recovery percentages are included in the Master Fee Schedule, which will be updated annually."

WHEREAS, analysis of current cost recovery for recreation programs and services indicates the City averaged a 48.6% direct cost recovery and a 29.5% total cost recovery for the last three years; and

WHEREAS, Matrix recommends the City increase its total cost recovery target from 29.5% to a minimum 40% total cost recovery, including both direct and indirect costs, to increase revenue and offset use of the General Fund; and

WHEREAS, Matrix recommended that the City establish cost recovery target categories for different recreation programs and services offered. Recreation programs that have high personal or individual benefit would have higher cost recovery targets than those that are primarily a public benefit. Having varied cost recovery targets based upon the type of program allows the City to provide programs beneficial to the community and to better assist the underserved population; and

WHEREAS, three program categories with varying cost recovery goals are recommended based on the level of personal/individual benefit provided as follows:

(i) Category A is for programs/services that provide high personal/individual benefit and no or limited City subsidy Programs/services in this category would have a cost recovery goal of 100%; (ii) Category B is for programs/services that provide both personal/individual and some community benefit. Programs/services in this category would have a cost recovery goal of 50%; and (iii) Category C for programs/services that provide limited personal/individual benefit and have high public benefit or address specific policy goals adopted by the City. Programs/services in this category would have a cost recovery goal of 20%.

APPENDIX: COST RECOVERY RESOLUTION

COST RECOVERY RESOLUTION

NOW, THEREFORE, the City Council of the City of Milpitas hereby finds, determines, and resolves as follows:

1. The City Council has considered the full record before it, which may include but is not limited to such things as the staff report, testimony by staff and the public, and other materials and evidence submitted or provided to it. Furthermore, the recitals set forth above are found to be true and correct and are incorporated herein by reference.
2. The City Council hereby adopts Resolution Approving Cost Recovery Policy for the Recreation and Community Service Department, a copy of which is attached hereto as Exhibit A.

PASSED AND ADOPTED this 16th day of March 2021 by the following vote:

AYES: (5) Mayor Tran, Vice Mayor Montano, Councilmembers Chua, Dominguez, and Phan

NOES: (0) None


ABSENT: (0) None

ABSTAIN: (0) None

ATTEST:


Wendy Wood, City Clerk

APPROVED:


Rich Tran, Mayor

APPROVED AS TO FORM:


Christopher J. Diaz, City Attorney

APPENDIX: COST RECOVERY RESOLUTION



CITY OF MILPITAS

Revision	Date

CITY COUNCIL POLICY

Policy No: 3-2	COST RECOVERY POLICY FOR THE RECREATION AND COMMUNITY SERVICES DEPARTMENT	Effective Date: 3/16/2021
Revision No: Click or tap here to enter text.	Policy Administrator: Recreation and Community Services	Next Review Due: 3/16/2022
Related Policies and Procedures: Click or tap here to enter text.	Approved by: City Council, 3/16/2021, Item # 10: Resolution No. 9049 with a 5-0 vote	Date Approved: 3/16/2021

1. PURPOSE

- 1.1. The purpose of this policy is to establish cost recovery targets for the services provided by the Milpitas Recreation and Community Services Department and to establish a methodology to calculate the cost recovery level moving forward. The establishment of the cost recovery targets will provide direction to staff on the level of funding for services that will be achieved through generated revenues versus those covered from the general fund or other revenue sources. Additionally, adoption of these targets will provide guidance to staff and the City Council when conducting the annual fee review and fee schedule adoption for specific programs and services.

2. POLICY

The Recreation and Community Services Department will annually conduct an internal assessment of the level of cost recovery achieved and present this analysis to the City Council as part of the budget discussion regarding fee establishment. Absent specific policy direction from the City Council, fees and charges for services will be established in alignment with the provisions of this policy and the following principles:

- 2.1. **Public Interest** – The public has an interest in the availability of a broad range of organized recreation opportunities that encourage healthy lifestyles, ongoing and lifelong learning, a sense of belonging to the community, and which provide exposure to a variety of recreational programs and services.
- 2.2. **Balance of benefits** – The benefits of participation in public recreation accrue to both the participant and to the public. The City of Milpitas has determined that it is appropriate that recreation funding is a shared responsibility and should be funded through a mix of both participant fees and public resources.

As a broad overarching principle, fees will generally be established at a high level of cost recovery for programs that provide an entirely personal benefit and at a lower cost recovery for programs that provide a mixed public/personal benefit. Additionally, the City has determined that programs for underserved populations or those of limited means, may warrant additional subsidization.

- 2.3. **Focus of cost recovery goals** – The mission and goals for public recreation activities and programs apply to all citizens of Milpitas and interests in specific types of programs and

APPENDIX: COST RECOVERY RESOLUTION



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COST RECOVERY POLICY FOR THE RECREATION AND COMMUNITY SERVICES DEPARTMENT / POLICY # 3-2

activities are determined by individual participants. The greater public interest lies in encouraging participation and reducing barriers to access to public recreation. Therefore, cost of service analysis and cost recovery goals for certain segments of the population where significant barriers to participation may exist will be considered periodically and established at levels that may vary from the typical cost recovery targets. These groups are identified as follows:

- a) **Youth:** in order to invest in the future of our community.
- b) **Low-income residents:** in order to ensure access and mitigate financial barriers to participation.
- c) **Residents with disabilities or seniors:** in order to improve opportunities for inclusion and participation.

Participants in these categories may have program fees and charges reduced when compared to the typical fees and service charges established for all other participants.

To provide a systematic approach to establishing cost recovery targets, all programs shall be classified according to the level of personal benefit received as follows:

- a) **Category A Programs/Services (High or full cost recovery activities):** These programs and services have high personal/individual benefit and should have no or limited subsidy. This category would include programs that are principally of personal benefit with little public benefit and may include high-demand programs.

Examples of programs that typically fall into this category include competitive sports leagues, individual health, and wellness courses (i.e., yoga), private/semi-private lessons, swim camps, organized parties, advanced classes/programs, workshops and clinics, and specialized activities/camps.

- b) **Category B Programs/Services (partial cost recovery activities):** These programs provide both individual and community benefits.

This category would include programs/services such as: intermediate programs, sports center, recreational swim, swim lessons, youth tournaments/leagues, social affinity groups, some educational programs (ESL, Math, etc.).

- c) **Category C Programs/Services (limited cost recovery activities):** These programs have limited personal benefit and high public benefit or address specific policy goals adopted by the City.

Examples of programs that would fall into this category would include therapeutic, adaptive, or special recreation programs, community-wide events, arts programs, summer camps, park/facility usage, inclusionary services, etc.).

- 2.4. **Cost recovery goals** – Cost recovery goals and targets establish the overall level of subsidy



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that will be provided by the local government and represent a balancing act between public and personal benefits. Overall, the Recreation and Community Services Department shall target achieving a 40% cost recovery of total costs (inclusive of all direct and indirect costs).

For each tier of programs/services, the cost recovery goals will be established at the following levels:

- a) **Category A Programs/Services:** Collectively, these programs and services would be targeted at 100% cost recovery.
 - b) **Category B Programs/Services:** Collectively, these should be targeted for 50% cost recovery.
 - c) **Category C Programs / Services:** Collectively, these programs should be targeted at 20% cost recovery.
- 2.5. **Cross-subsidization** – Cost recovery goals, as determined by this policy, are intended to be averages across the Department's entire program portfolio. Over- or under-realization of these cost recovery goals by any particular site, program or activity is acceptable and expected. The City's broader goal is to ensure that programming and pricing fit the changing realities of the marketplace, resident needs, and desires, maximizing participation, making efficient use of facility capacity, and maintaining a broad array of diverse recreation offerings. Nothing in this policy will authorize the City to adopt a fee or charge for a program or service that violates any applicable law or would render such fee or charge a tax requiring voter approval, including, without limitation, article XIII C, section 1(e) of the California constitution.
 - 2.6. **Targeted recreation programs** – When the Recreation and Community Services Department provides recreation programs specifically targeted to residents with special needs or seniors (or other City Council-identified populations), these programs may have lower cost recovery rates established than general recreation programs. However, to the degree that residents with disabilities, seniors, and new immigrants participate in general recreation programs, they are subject to the same prices as the general population. Subsidy programs may be used for targeted populations, such as youth or low-income citizens, that participate in general programs to offset costs, but the general fees charged for that program or activity will not be modified.
 - 2.7. **Pricing** – Fees are to be set by Recreation and Community Services staff under the authority of the City Council through the annual review of fees. In setting prices, the Department will balance the goals of program availability and affordability within the constraints of budget allocations, market economics, legal restraints, and cost recovery goal approved herein.
 - 2.8. **Financial assistance** – In addition to pricing which reflects cost recovery goals for low-income participants, the Recreation and Community Services Department will seek to ensure affordability of Department activities through scholarships, certain free youth activities, time-limited price promotions, and by cultivating sponsorships and other partnerships that can support these programs and activities.
 - 2.9. **Activities requiring permits** – A permit is required for certain activities in Milpitas parks. When permits for picnics or weddings result in exclusive use of an area, pricing should be set to achieve 80-100% recovery of total costs. When the purpose of a permit is to reserve a limited

APPENDIX: COST RECOVERY RESOLUTION



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- area for a limited time, such as a small group picnic, then prices should be set to 100% recovery of the direct costs incurred by the Department.
- 2.10. **Renting of facilities** – Various facilities are available for use by groups and private parties. Pricing should be set to recover 80-100% of direct costs for rentals during normal open hours. For events during normally closed hours, prices should be set to recover all incremental costs incurred by the Department, including staff, maintenance, and utilities (i.e. – all direct and indirect costs). However, priority groups (i.e., Milpitas-based non-profits) or other groups approved by the City Council may have reasonable use of facilities at discounted rates.
- 2.11. **Waivers of Fees and Charges** – Waiving or reducing certain fees and charges for recreation activities, permits, and rentals is within the public interest in order to reduce barriers to participation or optimize utilization of existing facilities.

The Department shall submit a recommendation for an appropriation during the annual budget process to offset revenues lost by waiving fees and charges. Total fees and charges waived annually shall be constrained within this appropriation. In accordance with established budgetary policies, the Department may request budget adjustments during the fiscal year when circumstances dictate consideration before the next budget cycle.

- 2.12. **Updating of goals** – Information about cost recovery levels should be calculated and reported annually. The cost recovery goals should be reviewed and updated at least once every three years.

Whenever the City Council approves a cost recovery goal that is higher than the current level of recovery, whenever practical, fees should be raised incrementally over time for the affected program categories, in accordance with the market, in order to optimize revenue generation with program availability and participation. Whenever the City Council approves a cost recovery goal that is lower than the current level of recovery, the Department shall present a budget decision package during the subsequent annual budget process identifying the additional amount of General Fund discretionary resources necessary to achieve the goal and provide options for program changes or reductions in lieu of additional resources.

- 2.13. **Compliance with budget** – Notwithstanding the policy goals for cost recovery outlined in this policy, the Department's primary responsibility in developing programs and services and establishing fees and pricing for recreation programs/services is to operate within the budget set by the City Council. Cost recovery goals are guidelines for program design and pricing, subsidiary to budgetary allocations and economic realities. Furthermore, cost recovery goals are subsidiary to the Department's responsibilities for development of the park system and asset maintenance requirements.
- 2.14. **Interagency services** – Services provided to other City departments or other governmental agencies should recover 100% of their full costs.

3. DEFINITIONS

- 3.1. **Direct costs** - costs incurred to provide recreation services and programs by the Recreation and Community Services Department. These costs are personnel, materials and supply costs budgeted directly within the annual Recreation and Community Services Department budget.



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- 3.2. **Total costs** - all costs incurred by the City to provide recreation services and programs by the Recreation and Community Services Department. The costs would include, in addition to the costs in the Recreation and Community Services Department budget, all other costs incurred by the City that are appropriately allocated to the provision of recreation services and programs. Examples of these additional costs would be cost allocation changes (from the annual cost allocation plan) to cover City-administrative costs and expenses incurred by other departments to support the provision of services - such as facility maintenance and set up costs of the Public Works Department directly attributable to recreation programs and services.

4. PROCEDURE

- 4.1. Annually, the Director of the Milpitas Recreation and Community Services Department will develop an assessment of the cost recovery achieved by the Department for the prior year. This assessment will cover both overall departmental cost recovery and the cost recovery for each tier of services established (Categories A, B and C).
- 4.2. Milpitas Recreation and Community Services staff will annually evaluate the mix of programs and services offered, to identify new programs that should be added or dropped in order to maintain a well-balanced services and program portfolio designed to achieve the adopted cost recovery targets.
- 4.3. Annually, staff will evaluate all subsidies and fee discounts provided to youth, low-income, and senior participants and provide a report to the City Council in conjunction with the annual budget process. The report should identify the annual funding needed to maintain adequate participation levels for these populations in the mix of services provided by the Department.
- 4.4. Prior to the annual discussion on fees to be adopted, the Department shall complete the cost recovery analysis and transmit it to the Finance Department for inclusion of the proposed master fee schedule submitted to the City Council for consideration.
- 4.5. Fee recommendations will be developed in accordance with the existing City policy of annual fee review and adoption by the City Council designed to enable the Department to achieve the adopted cost recovery targets.
- 4.6. The City Council will consider, as part of the establishment of fees each year, the adopted cost recovery targets. While policy decisions may be made that result in fees being adopted that do not achieve the targeted cost recovery targets, this should be a conscious decision based upon identified factors and the subsidy impact on the General Fund subsidy should be noted.
- 4.7. Any deviations to the adopted cost recovery targets adopted will be noted annually during the budget process.

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